



2025 TOWN OF SOUTHBRIDGE OPEN SPACE & RECREATION PLAN

DRAFT AUGUST 2025





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Acknowledgments

The Town of Southbridge's 2025 Open Space and Recreation Plan (OSRP) update is funded through the Massachusetts Community Development Block Grant (CDBG) Mini Entitlement Program, which aims to benefit low- to moderate-income residents in the communities it serves. Through a Request for Proposals process, Town hired BSC Group as its consultant to oversee the development of this plan update. The Town would like to thank the residents, stakeholders, and partners who helped shape this Plan Update.

The 2025 Southbridge Open Space and Recreation Plan (OSRP) guides the protection and enhancement of the town's natural resources, open spaces, and recreational facilities, emphasizing environmental justice, climate resiliency, and equitable access to parks and trails. The plan identifies key priorities such as improving recreational infrastructure, conserving water supply lands, and expanding trail connectivity. Aligned with the *Massachusetts Open Space and Recreation Planners Workbook (2025)*, the update also integrates long-term strategies for inclusive access, climate adaptation, and leveraging grant eligibility under the state's Executive Office of Energy and Environmental Affairs guidelines.



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1. Executive Summary

The Town's first Open Space & Recreation Plan (OSRP) was written in 1989. Prior to this current update, it was updated in 1998, 2004, and 2017. As with the earlier versions, the goals and action priorities of this update have been shaped through community feedback.

The 2025 OSRP update evaluates Southbridge's previous open space and recreation goals and explores the impact of climate change in relation to the town's open spaces. Additionally, this update includes a facility study for the Southbridge Community Center located at 153 Chestnut Street to identify short, medium, and long-term needs and the financial impacts of each option as it relates to modernization of this space. (See Appendix C for the Facility Study.)

This updated OSRP – will guide future development and growth while ensuring the protection of the community's natural spaces and resources. Through thoughtful planning and responsible stewardship, the Town will enhance its open spaces, vital habitats for flora and fauna, community parks, and high-quality recreational facilities.

This OSRP update aims to advance the following goals:

- Conserve and protect surface water supply lands in the southwest quadrant of town.
- Improve and maintain existing recreational resources and facilities.
- Protect and preserve key natural resource areas from future development.
- Expand and enhance existing recreational resources, green spaces, and open space.
- Link existing and potential trails and recreational resources.
- Enhance climate resiliency in open spaces to better adapt to climate change.

Together, these goals reflect the community's commitment to balancing responsible growth with long-term environmental stewardship, ensuring that Southbridge's natural and recreational assets are protected, connected, and enhanced for current and future generations.

2. Introduction

A. Statement of Purpose

There are several reasons why the Town of Southbridge has chosen to update its Open Space and Recreation Plan (OSRP). A current, approved plan is required for municipalities to be eligible for various grant programs administered by the Commonwealth of Massachusetts, Executive Office of Energy and Environmental Affairs (EOEEA). These grants support acquisition, preservation, and development of parks, trails, and conservation lands. Southbridge has received grants in the past from EOEEA funded programs and wishes to continue in the future. The OSRP also functions as a guide for the Town by helping to align open space and recreation goals with broader community planning initiatives. The community wishes to protect natural resources and provide open space and recreational opportunities for all residents, young and old. The Town's updated OSRP provides an inventory of existing open space and recreational assets, integrates climate considerations, and includes a prioritized action plan. Finally, the OSRP incorporates principles of environmental justice and equity by identifying and addressing the needs of Environmental Justice populations, ensuring that all residents have equitable access to safe, welcoming, and well-maintained open spaces and recreational opportunities.

Watershed protection has been a priority for decades. Community concern for future water needs led the Town to purchase the Southbridge Water Supply Company and its land for water supply protection purposes in the 1980s. After the purchase, the Town Planning Board prepared the Watershed Protection Overlay District that was approved by the Town Council on April 23, 1993. (See Zoning Map in Appendix A.) This district protects the 5 reservoirs and 1,100 acres of watershed land from development that could endanger the town's water supply. Watershed lands that lie outside Southbridge have been protected through the purchase of properties. The combination of town ownership and overlay protective zoning provides extensive but not complete protection of the reservoirs. In addition, Southbridge has many densely populated areas that were created 100 years ago when the mills and the American Optical Company were the power behind the community. People did not think about open space or recreation; they were concerned with convenient location and minimum upkeep. Consequently, mill houses were built at the roads' edge with few possessing a yard. One of the Smart Growth principles adopted by the town was to aim for a balance of housing, business, and open space.

Southbridge's first Open Space and Recreation Plan was completed in 1989. It was updated in 1998. A 2004 updated plan was drafted in the context of the community's 2003-2004 *Long Term Plan*. This was followed by a 2017 update, which was drafted by volunteers with assistance from the 2013 Master Plan Steering Committee. The 2017 OSRP outlined practical steps to advance five goals of the OSRP and echoed those from 2004 and 1998. The goals focused on conservation, natural resources, and watershed protection; improving, maintaining, and adding to existing recreation facilities; linking recreation facilities and trails; and expanding recreational, green, and open spaces. While many of the 2025 goals are like those in prior plan updates, the Town added a new goal relative to climate resiliency.

B. Planning Process & Public Participation

Southbridge designed and implemented an outreach and public participation plan to assure an inclusionary process that would maximize involvement and comment on developing the open space plan elements including parks, recreation, open space, and related topics. The first phase of the outreach plan was to engage the public in developing a vision and setting goals for the Town to achieve over the next ten years. Due to funding restraints requiring an expedited approach to the plan update, the Town focused its efforts on public participation as outlined below in lieu of creating an Open Space and Recreation Plan Committee.

Public Participation

Public participation occurred in three ways during the process to update the OSRP – through an open-house style meeting, a public forum, and an online survey. The community meetings and online survey were used to gather input on current needs as they relate to the town’s open space and recreation areas. The community meetings and online survey were promoted through the following outreach and communication efforts:

- Advertised on the town’s municipal website.
- Advertised in the Southbridge Casaubon Chronicle.
- Advertised through flyers in frequently visited areas including the Jacob Edwards Library and Casaubon Senior Center/Community Center.
- Advertised through social media posts on Facebook, including the Southbridge Recreation Department.
- Advertised through emails to external organizations, community groups, and partners including organizations part of the Southbridge Adopt-a-Park Program and sports leagues and associations.



Figure 2-1: Social Media Posts

Online Survey

The online survey was made available online on January 21, 2025, and closed on February 24, 2025. The survey was conducted to understand the needs and concerns of Southbridge residents related to open space, recreation, and the modernization of the Southbridge Casaubon Senior Center/Community Center. Participants were asked to share their level of satisfaction with parks and recreation in town, identify areas for improvement or preservation, and express their desired recreational amenities for existing facilities. The survey also explored issues of accessibility and gauged support for adopting the Community Preservation Act (CPA). Additionally, open-ended questions allowed respondents to provide further comments, concerns, or suggestions related to parks and recreation in Southbridge.

The online survey received a total of 39 responses, 38 responses for the English survey and one response for the Spanish survey. A summary of key findings is included in Section 6: Analysis of Needs, with full results available in Appendix B - Survey Results.



Open House

Open House

The Town held an open house on February 27, 2025. Participants provided input on display maps and shared their recreational preferences including activities, environmental health and sustainability, and other programming through dot voting. They also shared their aspirations for the town's open spaces and recreational opportunities by writing on sticky notes and placing them under broad-based goals. Additionally, participants were provided with one page of key findings related to open space and the Casaubon Senior Center/Community Center. A summary of the dot voting exercise and recreational preferences board is included in Section 6: Analysis of Needs.

Public Forum

The Town held a public forum on April 28, 2025. Participants engaged in a small group discussion to review six broad-based goals and provide feedback on current needs and action items. The updated OSRP goals and objectives include initiatives related to conservation, protection, maintenance, improved linkages, expansion, public access, and climate resiliency.



Public Forum

C. Enhanced Outreach & Public Participation

According to 2022 American Community Survey (ACS) data, over 29% of Southbridge’s population speaks Spanish. Of this population, more than 2,189 individuals, or 45%, reported they speak English less than “very well.” As a result, the OSRP survey and outreach materials were made available in both English and Spanish.

According to MassGIS Environmental Justice (EJ) population data, Southbridge has 15,774 residents living in environmental justice block groups, which represents 88.9% of the population in town.¹ In Massachusetts, an EJ population is a neighborhood where one more of the following criteria is true:

1. MassGIS. 2022. "2020 Environmental Justice Populations." <https://s3.us-east-1.amazonaws.com>. November. <https://s3.us-east-1.amazonaws.com/download.massgis.digital.mass.gov/shapfiles/census2020/EJ%202020%20updated%20municipal%20statistics%20Nov%202022.pdf>.

- The annual median household income is 65 percent or less of the statewide annual median household income,
- Minorities make up 40 percent or more of the population,
- 25 percent or more of households identify as speaking English less than "very well," and
- Minorities make up 25 percent or more of the population and the annual median household income of the municipality in which the neighborhood is located does not exceed 150 percent of the statewide annual median household income.



**SOUTHBRIDGE
OPEN SPACE &
RECREATION PLAN**

¡Se necesita la opinión de la comunidad!

¡Queremos conocer! La información que proporcione se utilizará para comprender las necesidades e inquietudes de los residentes de Southbridge con respecto a los espacios abiertos, la recreación y la modernización del Centro Comunitario de Southbridge (Community Center).

Encuesta Comunitaria Reunión Comunitaria


tinyurl.com/SouthbridgeOSRP
Copias en papel disponibles bajo petición


El Jueves 27 de Febrero
a las 18.00 horas
Senior Center Room
Southbridge Community Center
153 Chestnut St, Southbridge

The flyer features a colorful illustration of a park scene at the bottom, showing various people engaged in activities: a person walking a dog, a person on a bench, a person in a wheelchair, a person on a scooter, a person playing tennis, a person on a playground, and a person on a picnic. The background is a light blue sky with green trees and a winding path.

Figure 2-2: Outreach Flyer in Spanish

3. Community Setting

A. Regional Context

Southbridge is a town of approximately 17,669 people.² It is located on the banks of the Quinebaug River in the south-central portion of Massachusetts, nearly equidistant from the cities of Hartford, Springfield, Providence, and Worcester. Although conveniently situated near larger more urbanized areas, it is the nucleus of a scenic, semi-rural region.

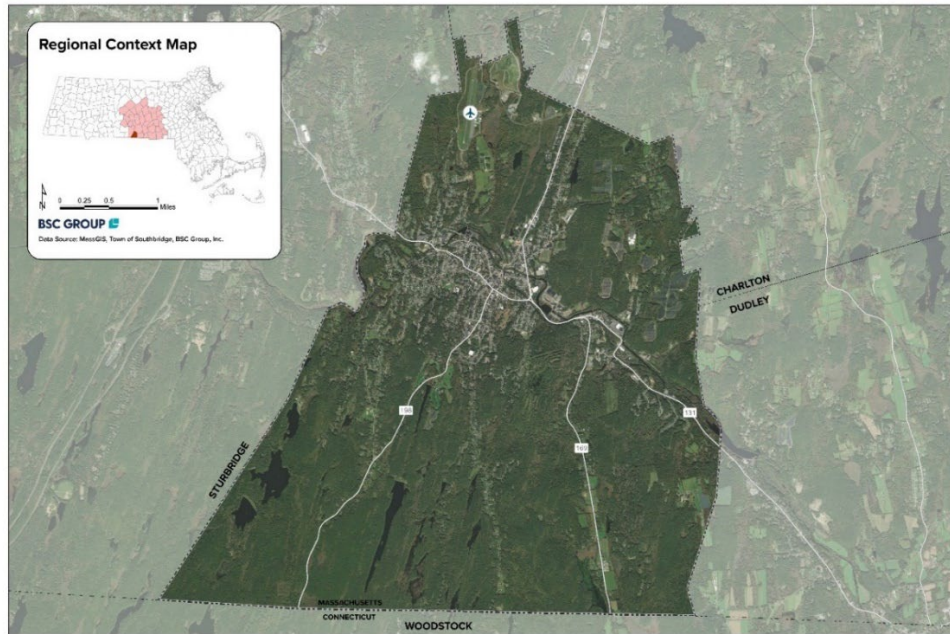


Figure 3-1: Regional Context Map

Southbridge is one of the few communities in southern Worcester County that owns and operates its own water and sewer systems. The Town has five reservoirs that provide municipal water to 95% of its residents and it also sells 500,000 gallons of water per day to the neighboring Town of Charlton.

Approximately 2,024 acres and 1,100+ acres of border land are protected by the Watershed Protection Overlay District (as noted in Section 9.2 of the Southbridge Zoning Bylaw). The Town’s sewer treatment facility accepts some sewage from the Town of Sturbridge.

In addition, some treated water from the sewer treatment facility is re-filtered and pumped to the Millennium Power Plant in Charlton for cooling purposes and is then piped back to the sewer treatment facility prior to being released into the Quinebaug River. Except for the southernmost section of Route 169, all water is taken from and returned to the Quinebaug River Watershed.

² U.S. Census Bureau. 2022. ACS 5-Year Estimates, ACS Demographic and Housing Estimates. <https://data.census.gov>.



Southbridge and Sturbridge share a joint facility, the Westville Recreation area. This is a 578-acre flood control project; one part of a network of six dams owned and operated by the U.S. Army Corps of Engineers to relieve the effects of flooding along the major rivers of the Thames River Basin.

The land surrounding Westville Lake, a 23-acre body of water, offers amenities including handicapped accessible picnic facilities and restrooms, ball fields, two boat ramps, and numerous scenic views such as the observation point at the Westville Dam. Massachusetts stocks the Quinebaug River with fish for anglers. For hikers and cyclists, the Westville Lake Community Trail offers a 1.8-mile loop around the lake.

Westville Recreation Area

Source: www.treksturbridge.org



The region is home to two major National Recreation Trails (NRTs). The riverside trail follows the Grand Trunk Railroad bed which runs along the Quinebaug River and is part of the emerging “Titanic Rail Trail.” The Titanic Rail Trail is a 60-80 mile east-west trail that will link the Blackstone Valley with the Pioneer Valley, passing through the regional Towns of Sturbridge, Southbridge, and Dudley.

Southbridge and Dudley have worked diligently for the last several years on the state-owned Quinebaug River Rail Trail (QVRT), which now extends into Dudley. Additionally, the Quinebaug River Water Trail (QRWT) offers 45 miles paddling routes including 1.7 miles segment between Sturbridge and Southbridge.

Access to Grand Trunk Trail at Westville Dam

Source: www.treksturbridge.org

B. Population Characteristics

The data in this section is sourced from the 2022 ACS 5-Year Estimates (2018-2022) and the U.S. Census Bureau Decennial Census of Population for past years, unless noted otherwise.

Population Trends

In 1990, the town had a population of close to 18,000. By 2010, the population had declined to 16,700. However, Southbridge’s total population has increased to approximately 17,669 (2022 ACS 5-Year Estimates). Figure 3-2 illustrates the 2022 distribution of residents by age groups, expressed in percentages.

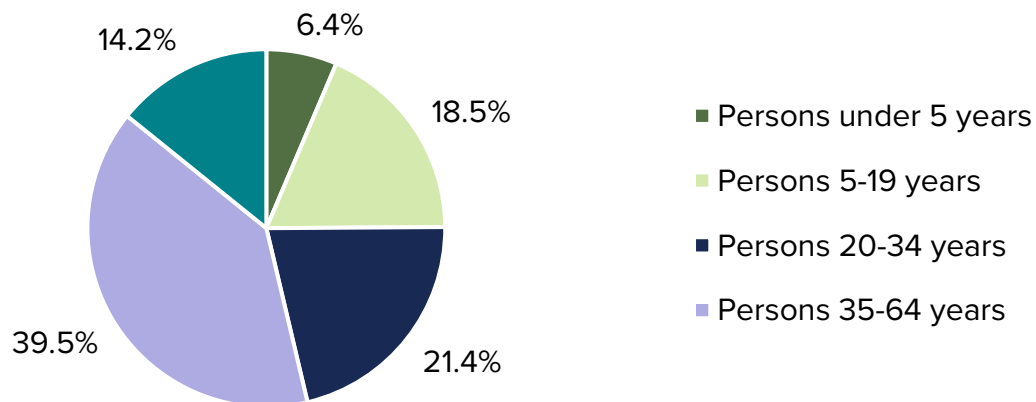


Figure 3-2: Percentage of Ages in Population

While the overall population in Southbridge has fluctuated slightly over the last 30 years, it has generally remained around 17,000 people. By 2030, the town’s population is projected to remain the same.³ Over the last several decades, the largest increase in both number and percentage change relative to age was seen in the 55–64 year age group, which grew by 1,154 people, an 84.5% increase. Young adults (ages 20 to 34) have seen a population decline of 776 people since 1990, while the population of adults aged 75 years and older dropped significantly, by 30.7%.

These shifts in life cycle groups have broad implications for Southbridge, particularly as they pertain to open space and recreation. The Town must balance open space and recreation facilities that serve youth and families, such as tot lots and ballfields, with an increasing need for passive recreation options that support older adults, such as walking and accessible green spaces.

Population and Housing Density

Despite its size, Southbridge is considered an urban community due to its population density and economic characteristics. One third of the housing stock pre-dates WWII and 43.3% of

3. UMass Donahue Institute. 2024. <https://donahue.umass.edu>.

housing units (3,043) are in multi-family dwellings built on postage-stamp style lots that create densely populated neighborhoods with little to no green space.

The U.S. Census Bureau's 2022 ACS 5-Year Estimates indicate that Southbridge has more housing that is rental units (3,949) than ownership units (3,081). Renters outnumber homeowners in younger age groups, while the reverse is true for those aged 55 and older. Of the rental units, 64.5%, or 2,547 units, are occupied by householders aged 54 and under. Because renters often lack access to private yards or play areas, they tend to rely more heavily on public parks and recreational facilities for outdoor activity.

Southbridge has a population density of 873 people per square mile. In general, population and housing density are highest in areas of early industrial development along the Quinebaug River, primarily in the north and east of downtown, as well as in the northwest part of the community, and within environmental justice areas. These EJ areas contain pockets of multi-family residences with the highest population densities and highlight the need for the Town to continue efforts to provide open space in densely populated neighborhoods and to improve and develop recreational facilities that are easily accessible by foot.

In the Town's last Open Space & Recreation Plan (2017), a survey question asked, "Which park, field or trail do you like most in town and why?" One resident responded, "by my home – shouldn't everyone have close access?" This sentiment still rings true today. Many respondents in the 2025 OSRP survey indicated that it takes them over 15 minutes to walk to the nearest park or recreational facility. Relative to park equity, the goal of linking existing and potential trails and recreational resources is key to ensuring residents have nearby spaces to enjoy.

Environmental Justice Communities

Southbridge was once one of the richest communities in America, with a booming textile economy. However, the mass closures of the town's textile mills decades ago led to an economic decline, the effects of which still linger today. The median household income in Southbridge is \$55,182, which is \$31,076 less than Worcester County (\$86,258) and almost \$40,000 below the Commonwealth's median household income of \$94,488.

While household incomes have increased over the years, there are 14 Environmental Justice Census Block Groups in Southbridge where at least 25% of households have a median household income at or below 65% of the Commonwealth's median household income.⁴ Approximately, one quarter of children under the age of 18 live below the poverty level. Among Hispanic or Latino individuals – the town's largest minority group – 24.5% have incomes below the poverty level. There are also several low- to moderate-income neighborhoods, where 51% or more of households earn less than 80% of the Area Median Income (AMI), as defined by the Department of Housing and Urban Development (HUD).

4. Massachusetts Executive Office of Energy and Environmental Affairs (EOEEA), Office of Environmental Justice & Equity (OEJE). 2020. <https://mass-eoeea.maps.arcgis.com/apps/webappviewer/index.html?id=1d6f63e7762a48e5930de84ed4849212>.

According to MassGIS Environmental Justice (EJ) population data, Southbridge has 15,774 residents living in environmental justice block groups, which represents approximately 89% of the town’s population. According to the U.S. Census Bureau’s 2022 ACS 5-Year Estimates, Southbridge’s ethnic composition has changed significantly since 2010. The percentage of population identified as “White Alone” has decreased by 16.4% between 2010 and 2022. However, this group still comprises over two-thirds of Southbridge’s total population (69.6%). In contrast, the Two or More races demographic in town has increased by 248% during the same period. The Hispanic/Latino population has grown significantly, rising from 27% in 2010 to 36% in 2022.

Today, over 36% of the population in Southbridge identifies as Hispanic or Latino, with the majority being of Puerto Rican descent (31%). Southbridge has many residents that speak Spanish at home (29.3%). Among Spanish speaking households, 27% have limited English proficiency. Of the 14 EJ Block Groups in Southbridge, five meet the minority EJ criteria and nine meet the minority and income criteria. (See Figure 3-3: Environmental Justice Map and Appendix A.)

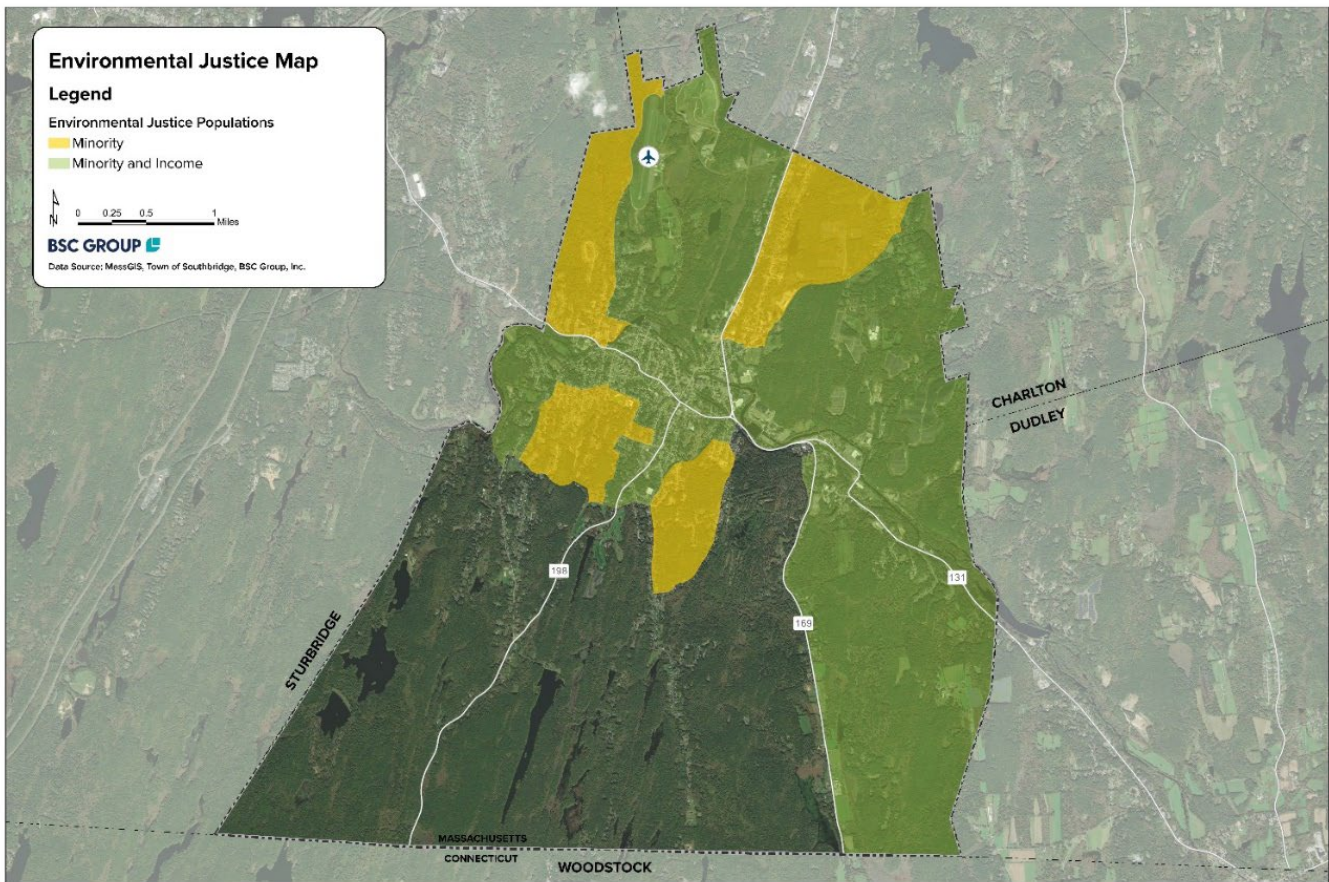


Figure 3-3: Environmental Justice Map

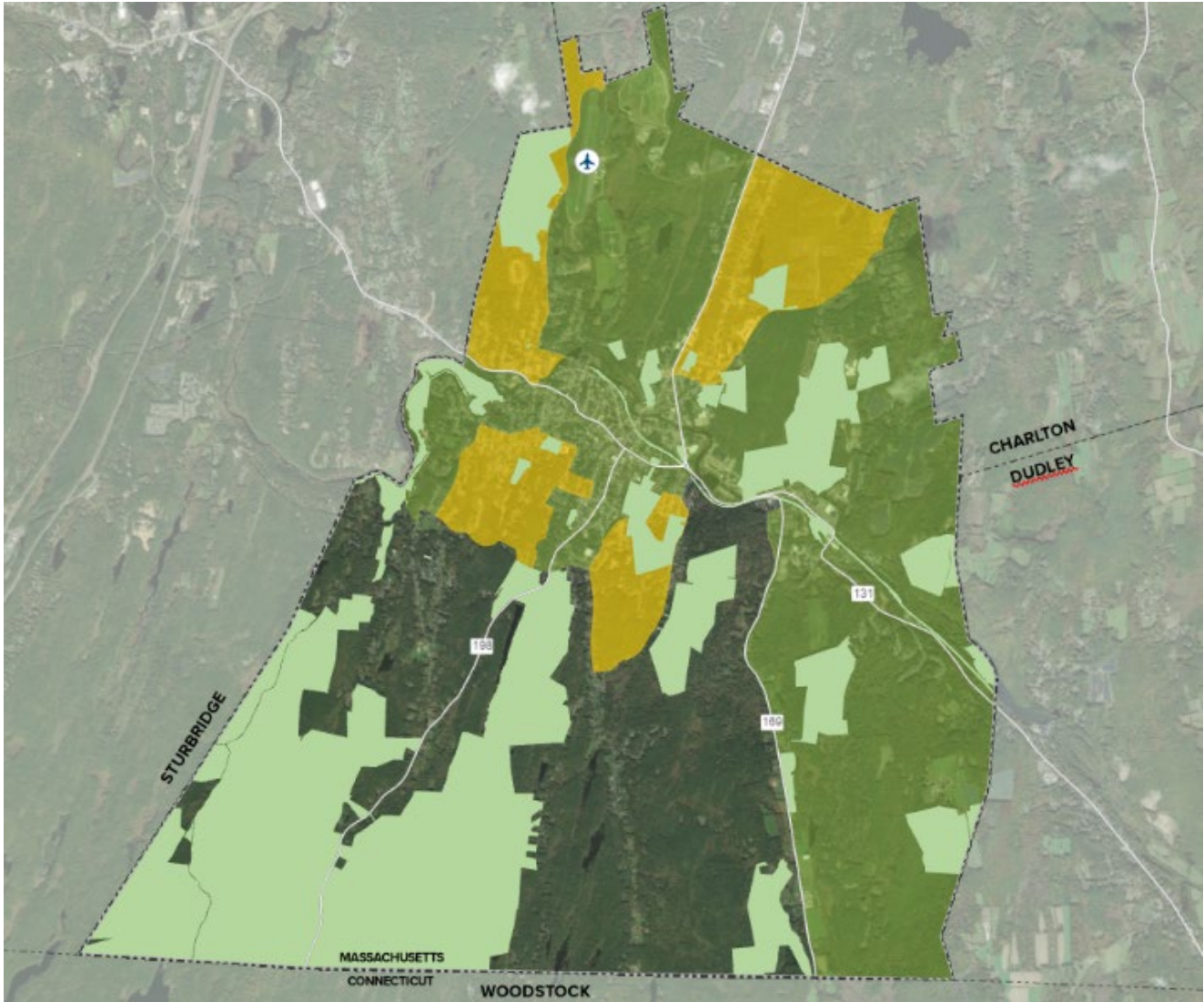


Figure 3-4: Open Space in Environmental Justice Communities

Most of the town's open space and recreational resources are located within EJ neighborhoods. These resources consist of several publicly accessible playgrounds, fields, and recreation areas including the Ed McCann Fields, Joe Capillo Park, West Street School Fields, Morris Street Playground and Fields, and The Rez at 262 High Street. (See Figure 3-4: Open Space in Environmental Justice Communities.)

The Massachusetts Executive Office of Energy and Environmental Affairs (EOEEA) defines Environmental Justice as the principle that all people have a right to be protected from environmental hazards and to live in and enjoy a clean and healthful environment regardless of race, color, national origin, income, or English language proficiency. Environmental Justice is the equal protection and meaningful involvement of all people and communities with respect to the development, implementation, and enforcement of energy, climate change, and environmental laws, regulations, and policies and the equitable distribution of energy and environmental benefits and burdens.

A neighborhood within a community is defined as an EJ population if it meets one or more of the following criteria:

- The annual median household income is 65% or less of the statewide annual median household income.
- Minorities comprise 40% or more of the population.
- 25% or more of households lack English language proficiency.
- Minorities comprise 25% or more of the population and the annual median household income of the municipality in which the neighborhood is located does not exceed 150% of the statewide annual median household income.

C. Growth & Development Patterns

Open Space Based Transportation

Southbridge’s open space-based transportation network includes the Westville Lake Community Trail, the Grand Trunk Trail, the Heritage Nature Trail, and the Quinebaug Valley Rail Trail (QVRT). The Heritage Nature Trail is an 800-yard, wheelchair accessible trail that follows the Quinebaug River, featuring boardwalks and scenic overlooks.



Heritage Nature Trail

A portion of the Grand Trunk Trail was built as a detour to the south side of the Quinebaug River to connect the Sturbridge-Southbridge Westville trail network to the QVRT currently extending into Dudley. These trails provide links in the growing east-west greenways system taking shape in southern New England which not only connects Southbridge to neighboring towns, but will connect the regional towns to nearby states (www.grandtrunktrailblazers.org).

Currently, a 1.7-mile section is completed, extending from Route 131 to Dudley line, where it connects to the Dudley rail system (2025). It is important to note that while trails currently extend from River Road in Sturbridge through Southbridge into Dudley, some of the connections need refinement. Additionally, the portions connecting the Heritage Nature Trail to the Grand Trunk Trail and the Grand Trunk Trail to the QVRT include rail bed sections that have yet to be converted to navigable trail surface, as well as traverse sidewalks and roadways that require sidewalk construction and/or replacement, improved curb ramps, and signage to increase accessibility and safety. While much work has been done on the QVRT from Route 131 to Dudley, it still needs resurfacing to be more functional to enable bicycling and strollers.

Since 2017, Southbridge has secured several funding sources for the design and construction of the QVRT, including:

- \$50,000 in MassTrail grant funds (FY 2023)
- \$1.5 million in MassDOT funds with an EDA match
- \$2,628,230 in U.S. Economic Development Administration's (EDA) Travel, Tourism, and Outdoor Recreation (TTOR) fund

Long Term Development Patterns

Zoning

The town has ten base zoning districts: Residential 1 (single-family), Residential 2 (single- and two-family), Residential 3 (single-, two-, and multi-family), Central Core, Retail Business, General Business, Office Research, Manufacturing, American Optical Flex Overlay District (AOFOLD), and Globe Village Flex Overlay District (GVFOLD). (See Figure 3-5 Zoning Map and Appendix A.)

The Flood Plain Overlay District was established to include all special flood hazard areas within the Town designated as Zone A, AE, AH, AO, or A99 on the Worcester County Flood Insurance Rate Map (FIRM) dated June 21, 2023, as amended, issued by the Federal Emergency Management Agency (FEMA) for the administration of the National Flood Insurance Program. The second overlay district, the Watershed Protection District, was created in the early 1990s to protect the Town's watershed. It regulates activity within the watershed via a separate section of the Zoning Bylaw.

Table 3-1: Zoning Districts and Sizes

Zoning Category	Acres	Percent
Residential 1	9,883.4 ^a	74.0%
Residential 2	770.3	5.8%
Residential 3	109.7	0.8%
Total Residential	10,763.4	80.6%
Central Core	133.2	1.0%
Retail Business	49.7	0.4%
General Business	162.8	1.2%
Total Business	345.7	2.6%
Office Research	561.0	4.2%
Manufacturing	1,296.0	9.7%
Total Industry	1,857	13.9%
American Optical Flex Overlay District	343.8	2.6%
Globe Village Flex Overlay District	40.2	0.3%
Total Other Districts	384.0	2.9%
Total	13,350.2	100%

Note:

- a. It is important to note that approximately 20% of the total acres within the Residential 1 (single-family) zoning district are permanently protected Water Department land and therefore not available for development.

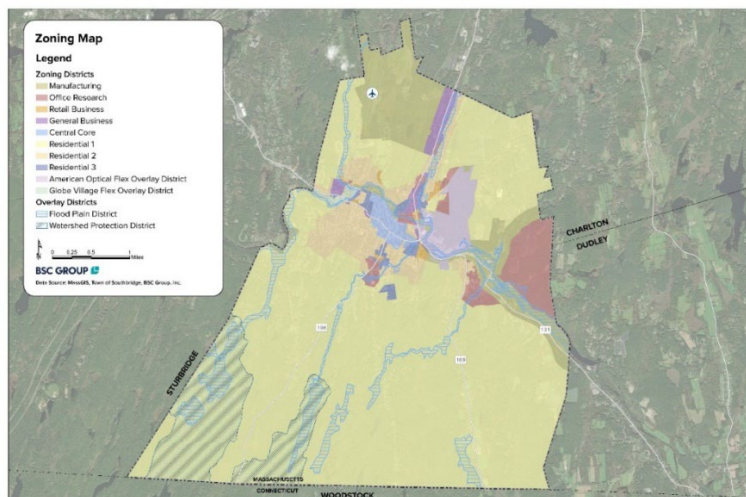


Figure 3-5: Zoning Map

Land Use

The Town’s existing land uses were mapped using the Town’s Assessor’s data. Assessor’s data differs from the MassGIS approach used in Table 3-2 where land uses were interpreted using aerial photography. Assessor’s data reports land use by parcels.

Table 3
: Existing Land Use (2025)

Land Use	Acres	Percent
Agricultural/Horticultural (only if G.L. c. 61A, § 4A accepted)	295.0	2.2%
Commercial	409.7	3.1%
Forested Land (only if G.L. c. 61, § 2A accepted)	1,171.8	8.8%
Industrial	1,064.8	8.0%
Mixed Use	1,613.8	12.1%
Recreational Land (only if G.L. c. 61B, § 2A accepted)	4.8	0.04%
Residential	4,269.6	32.0%
Tax Exempt ^a	3,999.8	30.0%
No Use Code	520.9	3.9%
Total	13,350.2	100.0%

Source: Town of Southbridge Assessor’s Data (2025)

Note:

- a. Tax-exempt parcels have a variety of land uses, including vacant land management by the Town Treasurer, hospital uses, religious groups, open space, and other uses.

Residential uses comprise the largest land use category in Southbridge, with 2,762 single-family residential parcels covering 4,269.6 acres (32.0% of total land area). The second largest land category is tax-exempt lands, totaling 3,999.8 acres (30% of total land area) across 1,529 parcels. This category includes all property which is fully exempt from taxation under various provisions of the law and owned by various organizations. Many parcels consist of vacant land owned by the Town under the management of the Town Council – e.g., 662 parcels comprising 2,286 acres).

4. Environmental Inventory & Analysis



Southbridge features include hilly terrain, hardwood forests, and a landscape shaped by the Quinebaug River. The river powered industrial growth along the river valley for years and has been a catalyst for the evolution of this mill town.

The town's contrasting character (industrial, natural, historic, and modern) is reflected in its mill buildings, Victorian architecture, and surrounding forested hills. These natural and built features create a visually rich setting and offer valuable wildlife habitat, recreational opportunities, and an architectural heritage worth preserving.

Town Common Park & American Optical Building

A. Soils & Topography

Southbridge's topography is primarily composed of moderate slopes (3-15%), particularly around the urban center. The town's soil is predominately glacial till, with thin, rocky soils at higher elevations and deeper, more fertile soils in lower areas. Several soil and slope characteristics present development challenges in town. (See Figure 4-2: Soil Types Map and Appendix A.)

- **Steep Slopes:** Approximately 18% of the town consists of steep slopes greater than 15%, which are prone to erosion and present challenges for recreational development, particularly universally accessible facilities and playing fields. About 14% of soils exhibit slow infiltration rates on steep slopes (>25%), limiting development due to risk of erosion.
- **Flood Prone Areas:** Around 15% of the town consists of flat areas (0–3% slope), often found in wetlands and floodplains.
- **Highly-Drained Soils:** Deep, sandy, or gravelly soils that are well to excessively drained impact both water supply and septic systems and cover 76% of the town.
- **Wetland and Poorly Drained Soils:** About 11% of the town has soils such as peats, mucks, or those with a high-water table, which also affect septic suitability.
- **Agricultural Soils:** Over 8% of Southbridge's soils are classified as prime farmland, and 3.5% as farmland of statewide importance. However, much of this land has already been developed, limiting future farming opportunities.

It is important to note these soil types overlap, and certain soils may possess multiple limiting characteristics. (See Figure 4-1: Soil Types Map and Appendix A.)

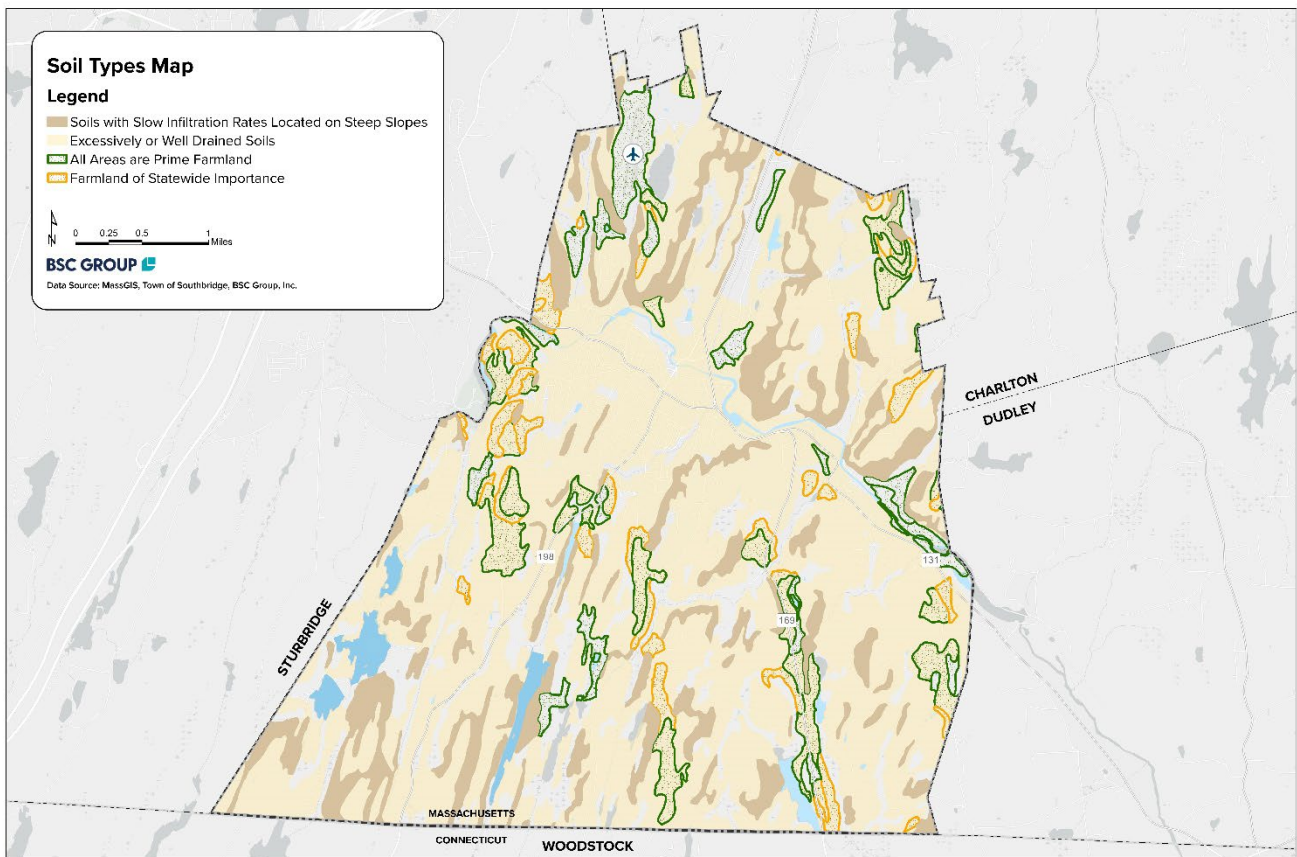


Figure 4-1: Soil Types Map

Agricultural Land

Over 720 acres of agricultural land in Southbridge are temporarily protected under Chapter 61A, which offers tax incentives for landowners to maintain agricultural use.⁵ Current farms are much smaller than those from the town’s agricultural past. A large, undeveloped area of about 2,500 acres in the south-central part of town, limited by wet and rocky conditions, once supported active farming and still holds agricultural potential. The Agricultural Commission hopes that growing interest in local agriculture will revive farming in this area and continue to promote and preserve prime farmland.⁶ In 2005, Southbridge had approximately agricultural uses span across 433 acres (3.4% of its land area). Since then, these lands have declined, with 2025 Assessor’s Data showing 295 acres used for agricultural purposes (2.2%).

5. DCR, UMass Extension. n.d. "Chapter 61 Programs." [masswoods.org](https://masswoods.org/sites/masswoods.net/files/Ch61-v2.pdf). Accessed March 2025.

6. Town of Southbridge. n.d. "Agricultural Commission." [www.ci.southbridge.ma.us](https://www.ci.southbridge.ma.us/185/Agricultural-Commission). Accessed March 2025.

B. Water Resources

Southbridge is in the Quinebaug River Watershed. Southbridge prioritizes excellent water quality and owns five surface water reservoirs within a Watershed Protection District. The Town acquired its water company and now manages over 2,000 acres in the southwest corner, including Reservoirs 3, 4, 5, and the Cohasse Brook Reservoir. Four reservoirs are on Hatchet Brook and one is on Cohasse Brook. Additional watershed land in Woodstock, Connecticut, helps protect Hatchet Pond and Hatchet Creek, both vital to the water supply. (See Figure 4-2: Water Resources & Protection Map and Appendix A.) Access to these protected lands is restricted to safeguard water quality. The flood protection reservoir behind Westville Dam is a popular recreational area.

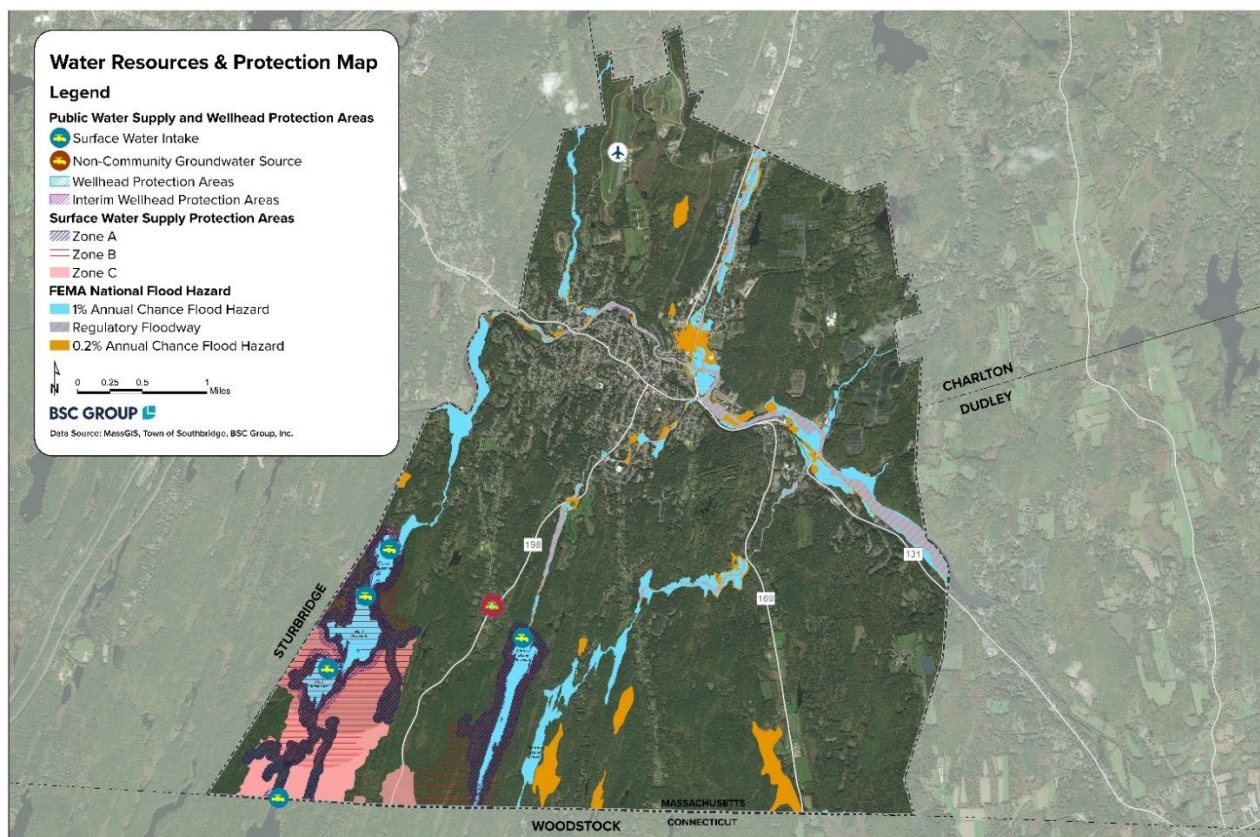


Figure 4-2: Water Resources & Protection Map

Surface Water

The Quinebaug River has historically powered Southbridge’s industrial growth and now also serves as a recreational resource. The U.S. Army Corps of Engineers manages the Westville Dam and Lake, a key flood control and recreational area offering fishing, boating, and swimming. Despite the river’s central location, public access remains limited beyond Westville. Connecting the Grand Trunk Trail to the Heritage Nature Trail and completing the QVRT will improve access.

Streams flowing through Southbridge include Breakneck Brook, Cohasse Brook, McKinstry

Brook, Lebanon Brook, Dean Brook, Hatchet Brook, Nuisance Brook, and Cady Brook. Morse Pond (41.4 acres), accessible via the Claire Birtz Wildlife Sanctuary, is a favored fishing spot. Other notable ponds include Carpenter, Wells, McIntyre, and Cohasse Brook Reservoir.

Flood Hazard Areas

Following major flooding in 1955, the Westville Dam and a levee at the former American Optical Campus were constructed. Since then, the Quinebaug River has not flooded. Five perennial streams in Southbridge have flooded during severe storms but are now managed through flood walls, plains, and other controls.

Local flooding persists in areas such as Guelphwood Road (partly due to beaver activity), along the Quinebaug River Heritage Nature Trail that runs near the riverbank, West Street Recreational Area, and the ADA path between Capillo Park and McCann Fields. The Town is coordinating with Charlton to address shared flooding concerns. There are also minor flooding and drainage issues behind the backstop of the softball field on Morris Street, closest to the Community Center. Additionally, flooding can occur at the softball field on Henry Street (McCann Fields) and in the Community Center parking lot during extreme conditions.

FEMA's Flood Insurance Rate Maps (FIRM) designate 100-year floodplains along the Quinebaug River, several brooks, and Reservoirs 3, 4, and 5. Southbridge's zoning requires a Special Permit for any work in these areas to ensure floodwater capacity is not reduced. A 100-year flood has a 1% annual chance of occurring; a 500-year flood has a 0.2% chance. (See Figure 4-2: Water Resources & Protection Map and Appendix A.)

Wetlands

Southbridge contains over 1,200 acres of wetlands, which are protected under the Massachusetts Wetlands Protection Act. (See Figure 4-3: Natural Resources Map and Appendix A.) These areas provide flood storage, water filtration, and wildlife habitat. The Southbridge Conservation Commission enforces regulations for work within 100-foot buffer zones. Minor wetland changes have been documented since 2001 due to development.

C. Vegetation

Southbridge has large areas of mixed hardwood and pine forest that produce clean air, reduce runoff and flooding, and moderate climate. Wetland and upland plant communities provide rich wildlife habitat, enhance passive recreation experiences, and add visual interest to the landscape.

Large areas of Southbridge are forested with plant communities typical of Southern New England. Northern red oak, eastern white pine, sugar maple, and white ash are found in the acidic, well-drained, upland soils. These forests offer visual screens and contribute to rural character while they modify environmental elements such as temperature, erosion, air, and soil quality. The Westville Dam area is an excellent example of a place where people enjoy the shade and visual beauty of these forests while hiking or biking. The forest also provides a pleasant backdrop for picnics, softball and soccer games, or canoeing races.

Wetlands, floodplains, and areas with seasonally high-water tables support communities of red maple, Atlantic white cedar, green ash, yellow birch, red pine, American elm, balsam fir, and eastern hemlock.

Public Shade Trees



Southbridge Tree Planting

Source: Opacum Land Trust

Trees in Southbridge are found throughout residential neighborhoods, the Town Common, parks, rural roads, forests, the watershed, and downtown, contributing significantly to the town’s visual character. The Town has participated in the Commonwealth’s Mass ReLeaf program, adding trees to the downtown, the Town Common, and at a pocket park at Route 198 and Elm Street.

Through the Community Development Block Grant (CDBG) program, a dilapidated multi-family housing structure was removed and replaced with trees. The program also funded professional pruning and maintenance of downtown trees, in coordination with the Downtown Partnership Physical Improvements Subcommittee. This included replacing deteriorating Norway maples with urban-appropriate species, fertilizing existing trees, raising canopy heights, and planting a disease-resistant elm near the Public Library. A street tree survey resulted in an electronic inventory of downtown trees and their conditions.

In 2024, Opacum Land Trust planted additional trees to reduce summer heat, improve air quality, manage stormwater, support wildlife habitat, and enhance climate resilience.⁷

Some of the notable scenic landscapes in Southbridge include:

- Oak Ridge Cemetery
- Downtown Center (including the Jacob Edwards Public Library)
- Town Common
- Southbridge Innovation Center
- Cole Forest
- Route 169 (North Woodstock Road)
- Walcott Street Playground
- Main Street Alleé – Plantings on both sides of the street leading into the downtown from the east are mature and stately Little Leaf Linden (*tilia cordata*) trees
- Route 198 (Elm Street)
- Chapin Hill Neighborhood and other established residential areas
- Old growth forest on Dudley River Road

7. Opacum Land Trust. n.d. "Celebrating Our Success: Southbridge Tree Planting Project Wrapping Up." [www.opacumlt.org](https://www.opacumlt.org/news/celebrating-our-success-southbridge-tree-planting-project-wrapping-up/). Accessed April 2025. <https://www.opacumlt.org/news/celebrating-our-success-southbridge-tree-planting-project-wrapping-up/>.

Rare Species

The town's largest Natural Heritage & Endangered Species Program (NHESP) Priority Habitats of Rare Species and Estimated Habitats of Rare Wildlife identified by MassWildlife are located in the southwestern corner of the community. Additional habitat areas are situated in the north near the airport, along the Quinebaug River from Sandersdale eastward into Dudley, and one around a certified vernal pool just east of Route 169. For a visual reference, please see Figure 4-3: Natural Resources Map and Appendix A.

Several plant species in Southbridge are listed under the Massachusetts Endangered Species Act (MESA) as threatened, endangered, or of special concern. These include:

Threatened

- Large-bracted Tick-trefoil (*Desmodium cuspidatum*) – grows in dry, rocky forest edges and ridges.
- Shining Wedgegrass (*Sphenopholis nitida*) – found in fertile, rocky soils.
- Slender Cottongrass (*Eriphorum gracile*) – inhabits swamps.

Endangered

- Violet Wood-sorrel (*Oxalis violacea*) - grows in rich soils of open deciduous woodlands.

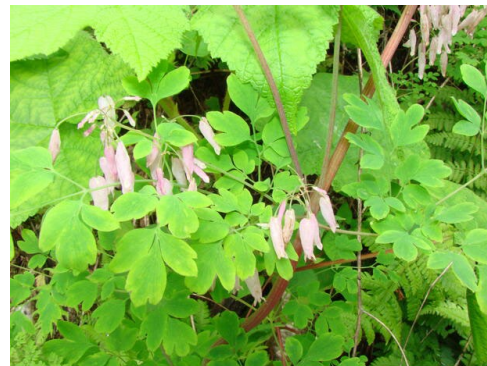
Species of Special Concern

- Climbing Fumitory (*Adlumia fungosa*) - found within the 6,050 acre watershed area from Sturbridge into the southwestern corner of Southbridge (includes Cohasse Brook Reservoir, Reservoirs 3, 4, 5, and Breakneck, Lebanon, Cohasse, and Hatchet Brooks).
- New England Blazing Star (*Liatris novae-angliae*).
- Purple Clematis (*Clematis occidentalis*).

Southbridge's mix of wetland and upland vegetation supports diverse habitats and recreational areas such as the Westville Dam. Westville Lake is subject to a 100-foot buffer zone, while the Quinebaug River has a 200-foot riverfront protection area. Any work in these zones requires approval from the Southbridge Conservation Commission.



New England Blazing Star
Source: Jennifer Garrett, NHESP



Climbing Fumitory
Source: Bryan Connolly, NHESP

BioMap

BioMap is a non-regulatory conservation planning tool to plan and prioritize conservation actions. In contrast, NHESP Priority Habitat is a regulatory screening tool to allow the NHESP to review projects or activities for impacts to state-listed species under the Massachusetts Endangered Species Act (MESA). BioMap is an important tool to guide strategic protection and stewardship of lands and waters that are most important for conserving biological diversity in Massachusetts. The two elements of BioMap are as follows:

- **CORE HABITAT:** Core habitat identifies areas critical for the long-term persistence of rare species, exemplary natural communities, and resilient ecosystems.
- **CRITICAL NATURAL LANDSCAPE:** Critical Natural Landscape identifies large landscapes minimally impacted by development and buffers to core habitats and coastal areas, both of which enhance connectivity and resilience.

To complement statewide habitats, BioMap also includes habitats assessed and prioritized from the perspective of each city and town, which provide municipalities and local land trusts with additional information to support local decisions (BioMap Local Components) and identifies the habitats particularly important for regional conservation and the habitat connections critical for conservation success across the northeast (BioMap Regional Components).

A concise “at-a-glance” look at the status of BioMap Core Habitat and Critical Natural Landscape, and Local and Regional Components, for Southbridge (13,350 acres) includes:

Table 4-1: BioMap Town Report

BioMap Area	Percent of Southbridge Covered	Percent Protected
BioMap Core Habitat	33.3%	10.8%
BioMap Critical Natural Landscape	44.6%	15.6%
BioMap Local Components	13.0%	5.4%
BioMap Regional Components	30.7%	15.9%

For visual reference of BioMap Core Habitat and Natural Landscape areas in Southbridge, please see Figure 4-3: Natural Resources Map and Appendix A. An “at-a-glance” BioMap report for Southbridge can be found on www.mass.gov/info-details/biomap-town-report-southbridge.

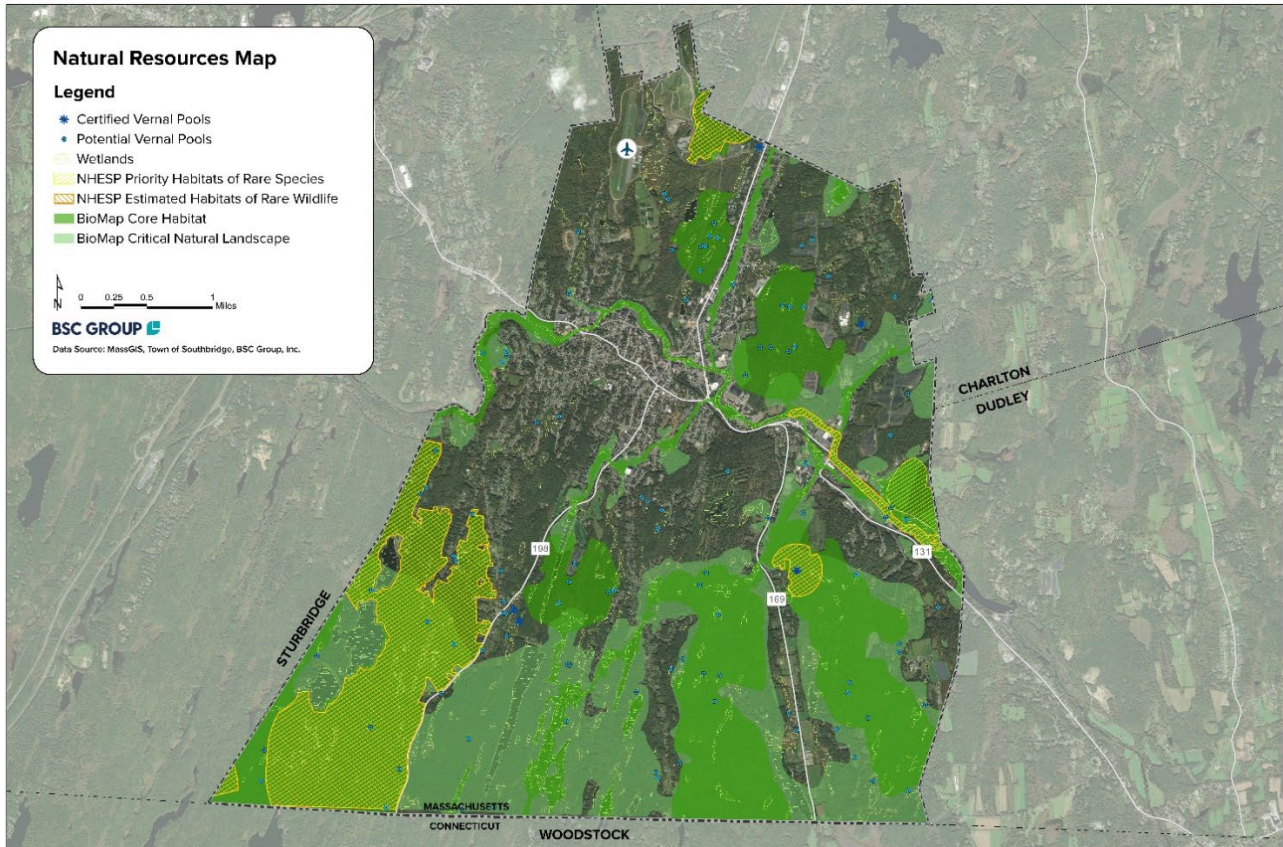


Figure 4-3: Natural Resources Map

D. Fisheries & Wildlife

The Massachusetts Department of Fish & Game (DF&G) owns land in the southwest corner of town surrounding Breakneck Brook in Sturbridge, which extends into Southbridge and abuts land owned by the Town's water company. This area is open to the public for hunting, hiking, and fishing as well as other types of passive recreation. Also adjacent to the water department's land is the Goodell-Morse Memorial Forest managed by the New England Forestry Foundation (NEFF). The NEFF land is not actively managed for timber production, is protected in perpetuity, and is open for passive recreation activities. Together, the DF&G land, the NEFF land, and the land owned by the water company create a substantial wildlife habitat and corridor for migration.

Typical upland wildlife in south central Massachusetts includes white-tailed deer, fox, raccoon, skunk, coyote, and the occasional black bear. Wetlands and waterways support several mammals, amphibians, insects, and birds. Beaver, muskrat, wood ducks, various species of snakes and turtles, salamanders, toads, and frogs all contribute to the ecosystems found in Southbridge.

The MESA listed threatened, endangered, or species of special concern that may occur within the bounds of Southbridge include:

Threatened

- Marbled Salamander (*Ambystoma opacum*)

Special Concern

- Creeper (*Strophitus undulates*)
- Orange Sallow Moth (*Pyrrhia aurantiago*)
- Wood Turtle (*Glyptemys insculpta*)

The Creeper, Orange Sallow Moth, Wood Turtle, and Marbled Salamanders may all be found along the Quinebaug River. The creeper is a freshwater mussel that prefers low-gradient river reaches with sand and gravel substrates.⁸

Additionally, the 2015 State Wildlife Action Plan by the Massachusetts Division of Fisheries and Wildlife documents the Species of Greatest Conservation Need (SGCN) and provides recommendations to guide wildlife conservation decision-making; it includes all the species listed under MESA and 21 additional vulnerable species that need conservation attention in Massachusetts.⁹

Vernal Pool Species

Vernal pools are critical habitats for species that depend on fish-free environments to complete their life cycles.

Obligate Vernal Pool Species

Southbridge has four NHESP certified vernal pool supporting obligate species. These are in the following areas:

- East of Eastford Road/Route 198 and Dennis Drive
- East of North Woodstock Road/Route 169 and Sawyers Path
- Off Torrey Road at the Southbridge Middle/High School

Obligate species, like the Marbled Salamander (a MESA listed species in Southbridge), rely on vernal pools for breeding.¹⁰

8. MA Division of Fisheries and Wildlife. n.d. "NHESP Program." www.mass.gov. Accessed April 2025. <https://www.mass.gov/files/documents/2016/08/se/strophitus-undulatus.pdf>.

9. Massachusetts State Wildlife Action Plan. 2015. "State Wildlife Action Plan (SWAP)." www.mass.gov. <https://www.mass.gov/info-details/state-wildlife-action-plan-swap>.

10. Massachusetts Division of Fisheries & Wildlife. n.d. "Marbled Salamander *Ambystoma opacum*." www.mass.gov. Accessed April 2025. <https://www.mass.gov/doc/marbled-salamander/download>.

Facultative Vernal Pool Species

One NHESP certified facultative species vernal pool is west of Worcester Street/Route 169 near Commercial Drive. These species use vernal pools but can survive in other habitats like ponds.

These sensitive habitats are not protected by Town zoning or wetland regulations. They are valuable natural resources for Southbridge and may soon disappear because of growth and development.

E. Scenic Resources & Unique Features

Historic Resources

Southbridge has beautiful views, a rich architectural heritage, and expansive forests that provide scenic areas into town. However, without careful planning, these features are at risk from development. Currently, only a few well-known sites have some level of formal protection.

Areas of historical significance include the town center, with its many historic buildings and old cemeteries. Southbridge has 416 locations and items identified by the Massachusetts Cultural Resource Information System (MACRIS) including 30 areas, 362 buildings, two burial grounds, six objects, and 16 structures. (See Figure 4-4: Historic Resources Map and Appendix A.)

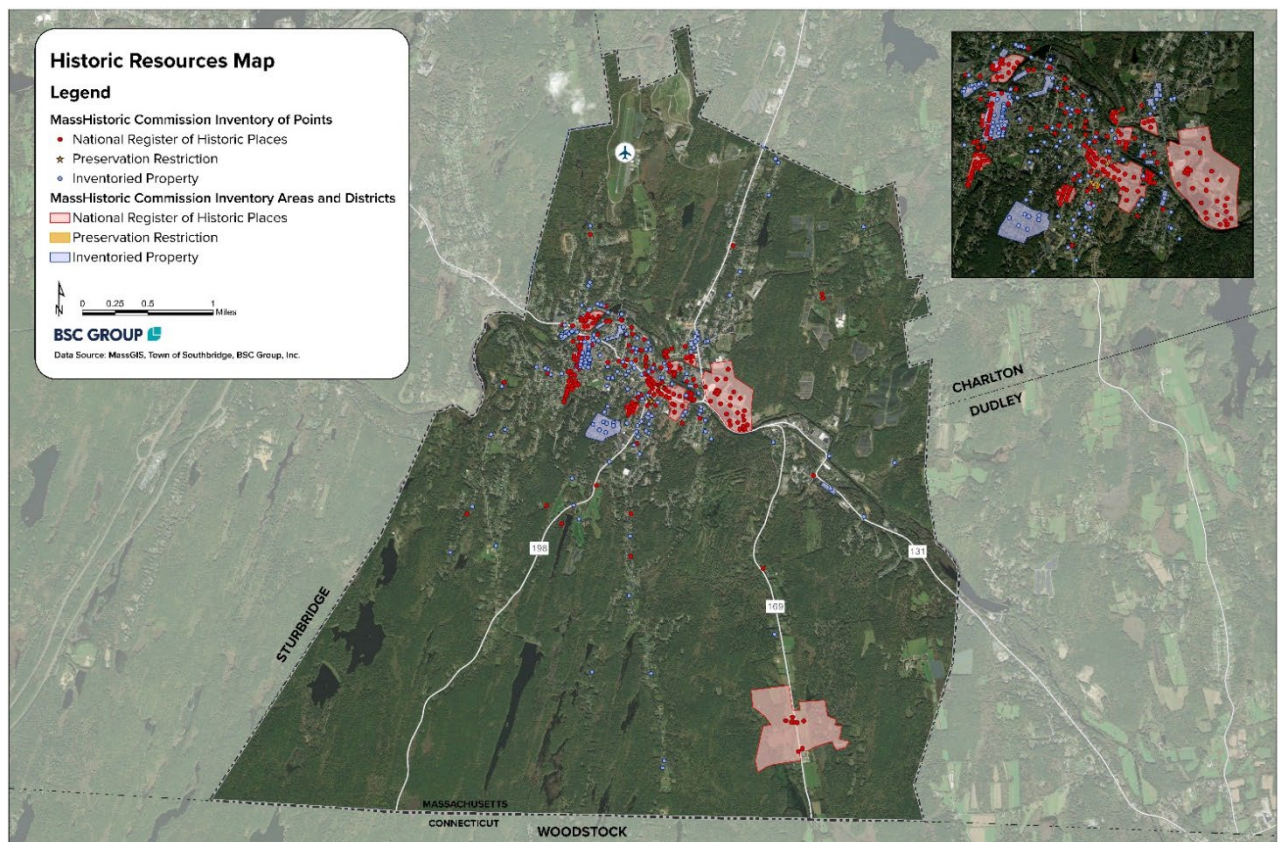


Figure 4-4: Historic Resources Map

Unique Features

Southbridge is distinguished by a series of ridges and valleys that extend in a north/south direction. Steep slopes have kept most outlying growth to the valley floors and tops of ridges, some low-lying areas, and along major transportation corridors. The steep slopes add visual drama and have potential, albeit limited, recreational value. Although Southbridge's geologic features are not especially dramatic, the 2,000-acre watershed in the southwestern quadrant of the town is noteworthy. It was privately owned and managed until 1989, when the Town purchased it from the Southbridge Water Company.

The Quinebaug River Watershed has been well managed and protected from development for more than 100 years. During the early to mid-20th century, the Water Company maintained a policy of purchasing and acquiring property in the natural watershed, including land in neighboring Sturbridge and Woodstock, Connecticut. When it was purchased by the Town, it included four reservoirs and two ponds, all surrounded by forested and ledged slopes, valleys, and flat land. The sub-basins that drain into the reservoirs are under a Watershed Protection District. Land is owned in Connecticut that protects Hatchet Pond and Hatchet Creek, both of which contribute to the water supply. Within the Watershed, views of the reservoirs against the backdrop of the forest and rocky slopes are quite dramatic. Although the watershed is protected, its scenic views are not accessible to the public.

F. Climate Change Impacts

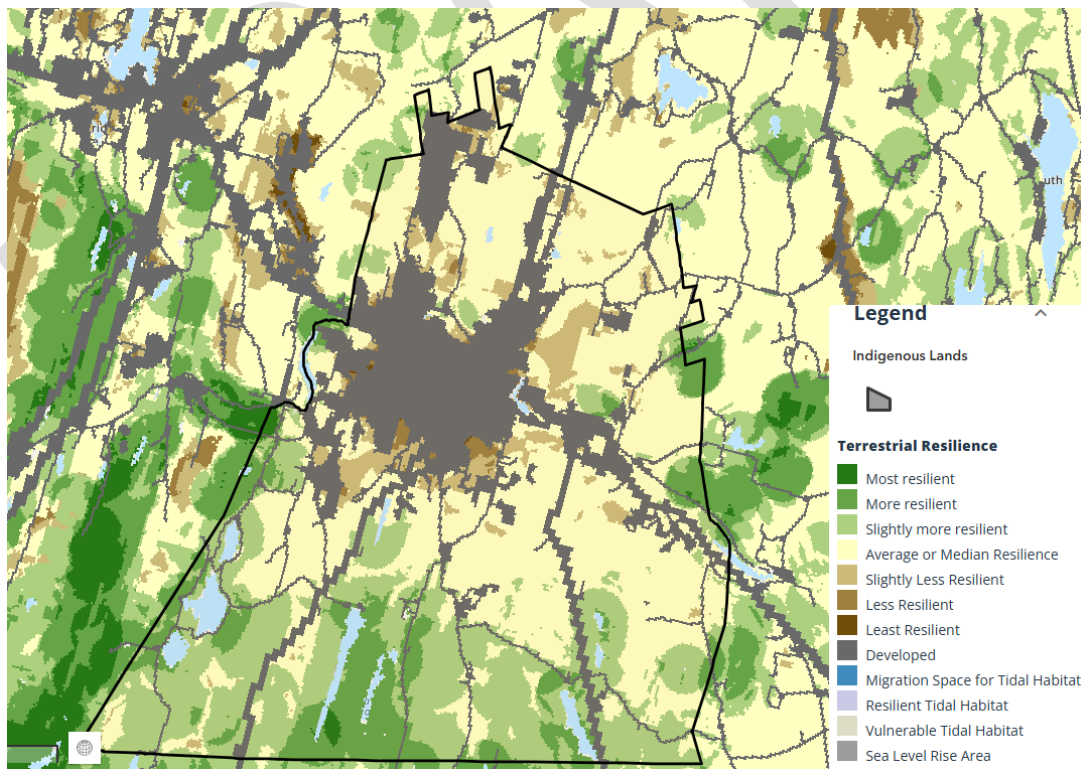


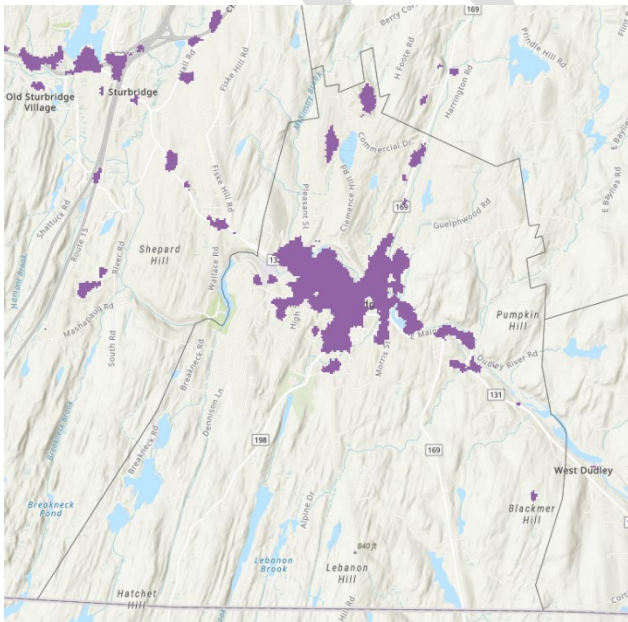
Figure 4-5: Terrestrial Resilience

Together, the Breakneck Brook land in Southbridge, the Goodell-Morse Memorial Forest, and land owned by the water company create a substantial wildlife habitat and corridor for migration. According to the Nature Conservancy’s Resilient Land Mapping Tool (RLMT), these protected lands are classified as climate resilient, meaning they support biodiversity and maintain important ecological functions. As such, they should be prioritized for protection to ensure long term environmental resilience. Areas surrounding the Cohasse Brook Reservoir, Lebanon Brook Pond, and Morse Pond have been identified as “most resilient” in the RLMT. The Claire Birtz Wildlife Sanctuary, which surrounds Morse Pond, is managed by the Opacum Land Trust and is permanently protected. However, the areas surrounding the Cohasse Brook Reservoir and Lebanon Brook Pond (highlighted in dark green) are not protected and should be considered for acquisition and protection. (See Figure 4-8: Terrestrial Resilience.)

Municipal Vulnerability Preparedness (MVP) Summary of Findings

Southbridge’s Municipal Vulnerability Preparedness (MVP) Summary of Findings identifies several actions relevant to open space and recreation, which are included in Section 7 – Action Plan. The plan highlights extreme heat as a top climate-related hazard, particularly in urban areas such as the downtown, where impervious surfaces create a heat island effect. Recommended environmental actions include adding shade trees, bioretention areas, and other low impact development features into existing parks and recreation areas. Additional strategies include acquiring lands for watershed protection, farmland protection, and exploring opportunities for improved flood control.

Hot Spots (Land Surface Temperature)



Source: MassEEA Statewide Land Surface Temperature (LST) Index

Figure 4-6 Hot Spots in Southbridge

While Southbridge is well endowed with trees, many of which are large and mature, there is also a large concentration of impervious cover in the downtown area and along the most of the Quinebaug River. Hot spots identified in the Massachusetts EEA Statewide Land Surface Temperature (LST) Index include the downtown center, developed areas along the Quinebaug River, the closed Southbridge Landfill located at 165 Barefoot Road, the Southbridge Municipal Airport, and a residential development area in the northern section of Route 169. (See Figure 4-6: Hot Spots in Southbridge.)

These locations are strong candidates for additional public shade trees and other heat mitigation strategies. The LST index was developed by combining surface temperature estimates from several days in 2018, 2019, and 2020 when the air temperature exceeded 70 degrees Fahrenheit.

Projected Increase in Flooding

To get an understanding of how projected increases in precipitation frequency and intensity may affect flooding in town, BSC Group modeled the pluvial (heavy rainfall-related flooding, independent of an overflowing body of water) and fluvial (riverine) flooding to identify estimated extents of flooding for the 1% annual chance for the present, 2050-, and 2070-time horizons. The model used precipitation frequency estimates provided in the ResilientMass Climate Change Projections dashboard. (Please see Estimated Inland Flood Exposure Maps in Appendix A for reference.)

FEMA flood hazard data supports the National Flood Insurance Program (NFIP), while the inland flood modeling is intended for general planning purposes. Compared to FEMA’s regulatory floodway and 1% annual chance flood hazard area, which are based on historical precipitation values and do not include pluvial flooding, BSC Group’s modeling identified a more widespread risk of flooding throughout the town. Notable areas of additional estimated flooding include:

- In undeveloped areas west of the municipal airport.
- More pluvial flooding in the downtown.
- In the southwest corner of town along North Woodstock Road.

While the extent of flooding gradually expands over time, from the present to 2050 to 2070, there are no significant new areas of flooding observed in Southbridge. It is important to note the Estimated Inland Flood Exposure Maps provided only estimate flood extents, not depths. Additionally, BSC Group’s model does not include stormwater/sewer infrastructure or dams which may impact the accuracy of the model, especially in more developed areas. Nonetheless, these results can be useful for preliminary planning and can provide direction on areas needing further study.

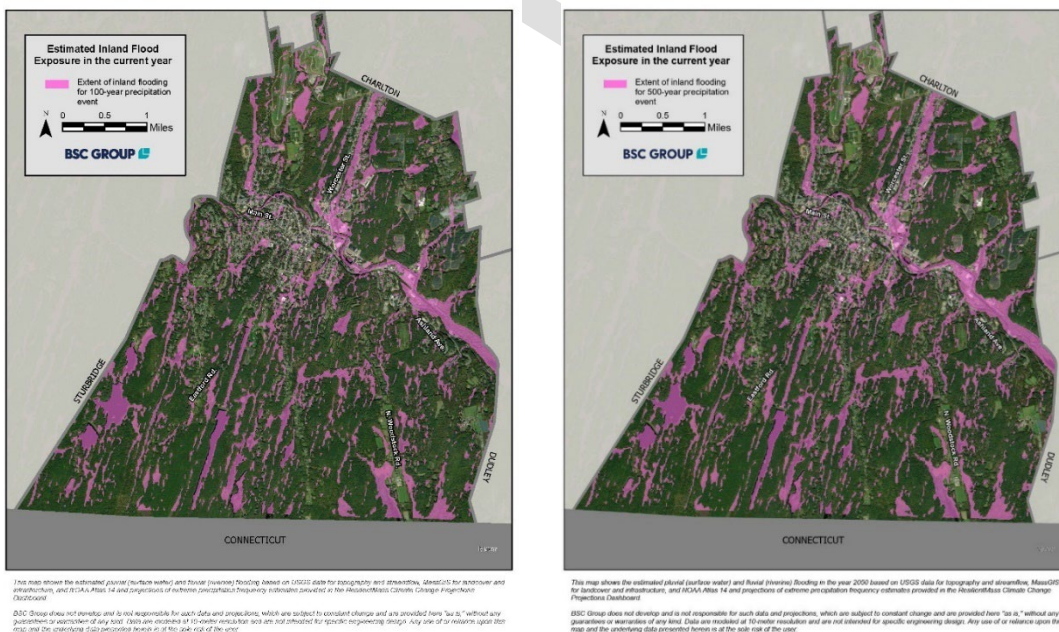


Figure 4-7 Estimated Inland Flood Exposure in Current Year



Figure 4-8 Estimated Inland Flood Exposure in the Year 2050



Figure 4-9 Estimated Inland Flood Exposure in the Year 2070

5. Inventory of Lands of Conservation & Recreation Interest

Open space is defined as land that is not developed and land, whether developed, that is primarily for preservation or recreation. It includes conservation, forested, recreation, and agricultural lands; corridor and small parks; green buffers; and vacant lots and brownfields that can be turned into passive or active recreation areas. Open space can be used for passive activities such as walking and hiking or active recreational uses such as soccer or baseball. Open space may or may not be protected from development. Protected open space refers to open space that is owned by a municipality, a state or federal agency, a non-profit land trust organization, or privately and is primarily managed for conservation, recreation, or environmental protection. The levels of protection described in this plan generally adhere to the MassGIS Protected and Recreational Open Space criteria:

Protected: Land that is legally protected in perpetuity, as recorded in a deed or other official document. This includes land owned by the town's Conservation Commission or, sometimes, by the Water Department; land with a conservation restriction held in perpetuity; land owned by state conservation agencies (under Article 97 protection); land owned by non-profit land trusts; or where the town has received federal or state assistance for purchase or improvement. Private land is also considered protected if it has a deed restriction in perpetuity, an Agriculture Preservation Restriction (APR), or a Conservation Restriction (CR) in place.

Temporary: Land that is legally protected for a limited time (e.g. short-term conservation restriction) or temporarily protected due to its functional use. For example, some water district lands are only temporarily protected if they serve a water resource protection function.

Limited: Land that is protected by legal mechanisms other than those above or protected through functional or traditional use. This category also includes land that is likely to remain open space for other reasons, such as cemeteries.

None: Land that is unprotected. This land is usually privately owned and could be sold without restriction at any time for another use (e.g. scout camps, private golf course, and private woodland).

Additionally, land enrolled in special taxation programs under Chapter 61, 61A, and 61B are actively managed for forestry, agriculture, horticulture, or recreation. If these lands are sold, the community has the right to first refusal, allowing the community the opportunity to permanently protect the parcel.

Open Space with different levels of protection is distributed among the following categories:

- Municipally owned recreational properties (Parks, Playgrounds, Athletic Facilities, Town Common, and Petro Memorial Pool)

- Town owned water department land
- Non-Profit conservation lands (owned by non-profit land trusts)
- State owned conservation lands (Quinebaug Valley Rail Trail, Breakneck Brook Wildlife Management Area and Conservation Restriction, and McKinstry Brook Wildlife Management Area and Trail)
- U.S. Army Corps of Engineers owned flood control recreation (Westville Lake Recreation Area)
- Private Chapter 61, 61A, and 61B lands
- Private historical land (Morse Cemetery)

Summary of Open Space Acquisitions & Improvements

Addressing the lack of open space in overcrowded neighborhoods has been a priority for decades. In 2002, the town acquired ownership of abandoned, condemned buildings, used grant funds for their demolition, then designed and built neighborhood playgrounds. Southbridge has also been designated a “mini-entitlement” community under the Massachusetts Community Development Block Grant (CDBG) Program, funded by the United States Department of Housing and Urban Development (HUD) through the Massachusetts Executive Office of Housing and Livable Communities (EOHLC). CDBG projects are aimed at benefiting low- and moderate-income individuals or to address slum and blight conditions. Currently, Southbridge focuses its efforts on two designated areas: the Downtown Area and Global Village Area. Additionally, there are three neighborhoods identified for low- and moderate-income assistance: the Morris/Coombs Neighborhood, the Worcester/Henry Neighborhood, and the newly added Crane-Main section.¹¹

The 2025 OSRP update is funded through the CDBG Mini Entitlement Program and includes a facility study for Southbridge’s Casaubon Senior Center located at 153 Chestnut Street to identify short, medium, and long-term needs and the financial impacts of each option as it relates to modernization of this space. (See Appendix C for the Facility Study.)

CDBG funded playgrounds include the 600 Block Playground located at 636-640 Main Street and the Walcott Street Playground located at 19-23 Walcott Street. Thanks to the Mass ReLeaf program the town created the Town Common located at 1 Mechanic Street in 1997. Another opportunity arose when a developer went bankrupt and abandoned a large parcel in the late 1980s. The town secured ownership and obtained CDBG grant funds to create Capillo Park, a neighborhood park that includes a quarter mile walking path. This area of town (the intersection of Worcester and Charlton Street) has over 70.6% low- to moderate-income residents and is located in an environmental justice (EJ) community meeting minority and income criteria.¹² An environmental justice block group with 89.6% low- to moderate- income

11. Town of Southbridge. n.d. *Community Development Block Grant Programs*. Accessed October 2024. <https://www.ci.southbridge.ma.us/281/Community-Development-Block-Grant-Progra>.

12. HUD. 2024. "Low to Moderate Income Population by Block Group." hudgis-hud.opendata.arcgis.com. October 24. <https://hudgis-hud.opendata.arcgis.com/datasets/HUD::low-to-moderate-income-population-by-block-group/explore?location=42.072684%2C-72.020938%2C13.29>.

residents adjacent to Capillo Park includes the Southbridge Housing Authority, a large multi-story senior living facility located at 60 Charlton Street. The Capillo Park trail also links to the nearby Henry Street Playground, which borders Carpenter Pond and the McCann Fields and Park.

In 2013, the McCann Fields and Park Redevelopment Committee used grant funds to develop a plan to improve both parks and their connection. Southbridge has received CDBG grants for the following parks and recreation projects:

\$80,000 for McCann field and ball field upgrades (FY 2020) \$95,000 for McCann field ADA path and lighting and security upgrades (FY 2021)

The McCann fields also received \$313,120 in American Rescue Plan Act (ARPA) funds for playground equipment. In addition, Southbridge was awarded Parkland Acquisitions and Renovations for Communities (PARC) grants for the following parks and recreation projects:

- \$560,540 for McCann field upgrades, skatepark, handball court, ADA path, awning cover, ADA swing, benches, concrete pads, trash cans, mulch, and split rail fencing.
- \$250,000 for acquiring, demolishing, and constructing a pocket park at 76 Central Street.

In 2023, the Eagle Scout Peyton Sanborn raised funds for the renovation of Eastford Road School Playground outdoor activity space. The new blacktop space includes games such as Hopscotch and Four Square, along with alphabet letter paths.¹³

The Quinebaug River Heritage Nature Trail is an 800-yard ADA-accessible trail that runs along the riverbank from the Lower West Street Recreation Fields. The trail features benches, boardwalks with railings, and a scenic river overlook. However, there is no ADA accessible path connecting the West Street Recreation Area parking lot to the trail. Located in the northwest corner of town, its construction was completed in 1999 on town-owned property abutting the Westville Dam flood control project. In 2006, the Southbridge Trails Committee (STC) secured grant funds to install a commercially made ADA picnic table and to build and install a bulletin board encasing brochures with maps and trail descriptions.

In 2012, the STC utilized grant funds to build a trail linking the Grand Trunk Trail (from the Sturbridge side of Westville Lake) to the Heritage Trail. The town is currently working toward connecting this trail system to the Providence and Worcester Rail Trail, named the Quinebaug Valley Rail Trail (QVRT), creating a continuous route from Brimfield through downtown Southbridge to Dudley. Currently, a 1.7-mile section is completed, extending from Route 131 to Dudley line, where it connects to the Dudley rail system (2025).¹⁴ Since 2017, Southbridge has

13. Ben Paulin. 2023. *Southbridge Public Schools Recognize Eagle Scout Peyton Sanborn for Donation to Renovate Eastford Road School Blacktop Activity Space*. Southbridge: Southbridge News.

<https://southbridgenews.org/2023/09/08/southbridge-public-schools-recognize-eagle-scout-peyton>

14. Ben Paulin. 2023. *Southbridge Public Schools Recognize Eagle Scout Peyton Sanborn for Donation to Renovate Eastford Road School Blacktop Activity Space*. Southbridge: Southbridge News.

<https://southbridgenews.org/2023/09/08/southbridge-public-schools-recognize-eagle-scout-peyton-sanborn-for-donation-to-renovate-eastford-road-school-blacktop-activity-space/>.

secured several funding sources for the design and construction of the QVRT, including:

- \$50,000 in MassTrail grant funds (FY 2023)
- \$1.5 million in MassDOT funds with an EDA match
- \$2,628,230 in U.S. Economic Development Administration's (EDA) Travel, Tourism, and Outdoor Recreation funds

In 2006, grant funds used to improve the Heritage Trail also implemented a plan to use town-owned land with existing trails to connect neighborhoods and community facilities adjacent to this land. The Southbridge Casaubon Senior Center/Community Center, a senior housing and condominium complex, and the Southbridge YMCA are connected by three trails in Cole Forest which link to the roads running through the town-owned Oak Ridge Cemetery. In addition to linking community facilities and housing complexes, these trails are also surrounded by residential areas and are thus available to residents in numerous neighborhoods. A trailhead and kiosk with brochures were built and installed adjacent to the Casaubon Senior Center on the north side of the forest. All three trails were blazed and additional bulletin boards with maps were erected on the southwest side of the forest next to the senior housing on Maria Avenue and on the northwest side of the forest adjacent to the Oak Ridge Cemetery with directions to the YMCA facility. The Heritage Trail has also been improved with stone dust to help with slope grades between the trails and bridges. The Southbridge Trails Committee has also re-blazed the trail systems in Cole Forest and cleared some encroaching vegetation on Heritage Trail.

There has been progress on some of the 2017 Open Space and Recreation Plan goals, with certain objectives accomplished. However, some goals remain priorities, while no action has been taken on others.

Municipally Owned Conservation & Recreation Properties

Summary of Town Owned Parks & Recreation Facilities and Conservation Areas

Southbridge's Parks and Recreation Department is responsible for the management of the following parks, playgrounds, and recreational fields:

- Ed McCann Fields and Park
- Henry Street Playground
- High Street (The Rez)
- Joe Capillo Park
- Main Street Playground
- Morris Street Playground and Fields
- Walcott Street Playground
- West Street Recreation Area (Lower West Street)

The town's Adopt-a-Park program offers community organizers, businesses, or individuals the opportunity to assist with the maintenance of the town's parks and recreational facilities. At the time of writing this report (2025), the following parks and facilities have been adopted:

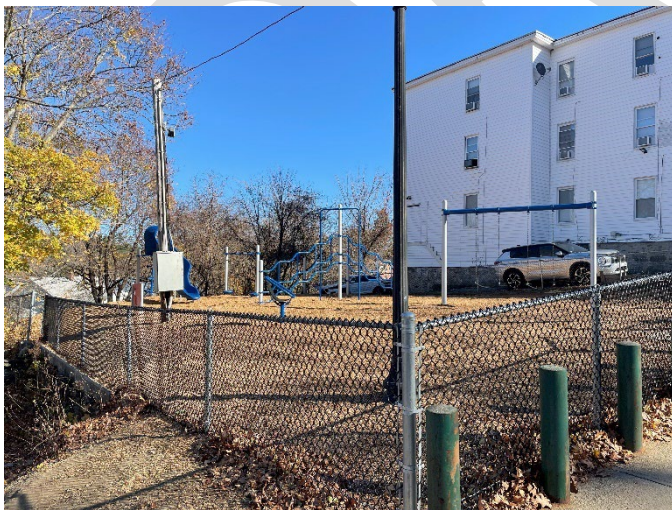
- Ed McCann Handball Court - Adopted by the New England Handballers Association
- Henry Street Playground - Adopted by Bay Path Vocational High School
- High Street (The Rez) - Adopted by Friends of the Rez
- Joe Capillo Park - Adopted by Planet Arin
- Main Street Playground - Adopted by the Southbridge Rotary
- Morris Street Playground and Basketball Court - Adopted by Cub Scout Troop 140



Henry Street Playground



Morris Street Playground



Main Street Playground



Joe Capillo Park

Cole Forest is owned by the town and managed by the Southbridge Trail Committee. As of 2025, none of the conservation lands or their associated trails are managed under the jurisdiction of the town's Conservation Commission.



Heritage Trail

The Heritage Nature Trail, an ADA accessible trail owned and managed by the town runs along the Quinebaug River starting at the West Street Recreation Area adjacent to the West Street Elementary School. All the facilities on-site are handicapped accessible, including a picnic table. The trail follows the river and there are several lookouts and rest areas along the way. Vegetation includes birches, alders, hazels, red maples, quaking aspen, and flowering dogwood that create a shady canopy over the trail and bushes and perennials such as white wood asters, winterberry holly, sweet pepperbush. Wildlife includes raccoons, beavers, rabbits, red foxes, squirrels, groundhogs, and whitetail deer.



ADA Ramp to Heritage Trail Located at West Street Recreation Area

The 2012-2013 trail addition connects the Heritage Trail to the Grand Trunk Trail on the Sturbridge side of Westville Lake through Westville Dam along Marjorie Lane and a dam access road. These trails are envisioned to become a part of the Titanic Rail Trail; a trail of approximately 60 miles through south-central Massachusetts and the northeastern corner of Connecticut. Parking, including designated handicapped, is located adjacent to the West Street Recreation Area, along with a bulletin board containing trail maps and descriptions. However, there is no ADA accessible path connecting the West Street Recreation Area parking lot to the Heritage Nature Trail.

Table 5-1: Municipally Owned Conservation & Recreation Properties

Property Name	Current Use	Recreational Potential	Condition	Public Access	Grant Received
Cole Forest	<p>Three trails have four entrances; the blue trail runs from the Casaubon Senior Center/ Community Center to residential housing on Maria Avenue. The white trail runs from the Morris Street fields, adjacent to the Casaubon Senior Center /Community Center, to the Oak Ridge Cemetery where cemetery roads can be taken to the YMCA. The yellow trail provides a connection between the blue and white trails. Parking, including designated handicapped, and a trail head with a kiosk and seating are located at the Casaubon Senior Center/ Community Center.</p>	N/A	<p>Good.</p> <p>The Southbridge Trails Committee re-blazed the trail systems in Cole Forest and cleared some encroaching vegetation on Heritage Trail.</p>	Unknown	N/A

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<p>Ed McCann Fields and Park and Henry Street Playground</p>	<p>2 baseball fields, softball field with lights, press box and dugouts used by the Southbridge Softball Association; 2 basketball courts; a handball court adopted by the New England Handballers association for maintenance, and a playground adopted by Bay Path Vocational High School for maintenance.</p>	<p>Restrooms</p>	<p>Good. The McCann Fields and Park Reconstruction Committee has utilized several grant funds for ballfield upgrades, playground upgrades, and ADA paths. The Little League field can use additional lighting and drainage along the newly installed ADA path can be improved.</p>	<p>Open to all</p>	<p>American Rescue Plan Act (ARPA) Funds, Parkland Acquisitions and Renovations for Communities (PARC) Grant, Community Development Block Grant (CDBG)</p>
<p>High Street (The Rez)</p>	<p>Used as an ice-skating rink. The facility is weather dependent in winter.</p>	<p>Potential of opening the facility in the spring, summer and fall for picnicking and fishing.</p>	<p>Renovations to the facility could include the installation of a sound system and handicap accessible facilities.</p>	<p>Open to all</p>	<p>Private donations</p>

<p>Joe Capillo Park</p>	<p>The park abuts the McCann Fields and includes an ADA compliant path to improve the connection. Capillo Park offers a BMX/skate park, 1 basketball court, an area previously used for a sand volleyball court, a picnic table with wheelchair clearance, three benches, and a quarter-mile walking path connecting it to McCann Fields. The park is adopted by Planet Arin for maintenance.</p>	<p>The installation of parkour equipment could be added along the walking trail, an increase in basketball courts or handball courts, and a replacement/renovation of the volleyball area are possible. Some ideas include an R/C car track or a bicycle pump track. The action sports park could be expanded.</p>	<p>Needs improvement. A renovation of this facility could improve the cosmetics as well as the function of the park. The path to the park from Central Street has a steep slope and is not ADA compliant.</p>	<p>Open to all</p>	<p>CDBG</p>
<p>Main Street Playground</p>	<p>Fenced play area with a wood chip surface and light poles. The playground is adopted by the Southbridge Rotary for maintenance.</p>	<p>Potential for picnic area.</p>	<p>Needs improvement. The site has a steep slope in the rear.</p>	<p>Open to all</p>	<p>CDBG</p>

<p>Morris Street Playground and Fields</p>	<p>2 baseball/softball fields, 1 basketball court, playground with swings, slide, and field storage building. This site is also adjacent to Cole Forest Hiking Trails. The fields are adopted by Club Scout Troop 140 for maintenance. In 2024, Central Mass Lightning entered into an agreement with the town for the use of the Morris Street fields.</p>	<p>While this facility is in decent condition and upkeep, maintenance is necessary. The space has the potential to be redeveloped to support a wider range of recreational uses.</p>	<p>Needs improvement. The area is flat and has two paved parking lots: one on Morris Street, which lacks an ADA parking spot but can be used for drop-off, and one on Armory Lane, which includes an ADA parking spot near the playground and playing fields. There is no flat resting area for wheelchairs near spectator seating. Two accessible bathrooms are available but currently not open to the public.</p>	<p>Open to all</p>	<p>N/A</p>
<p>Walcott Street Playground</p>	<p>Fenced play area with grass surface.</p>	<p>McKinstry Brook passes through property in which a stream viewing platform could be installed. Outdoor field games such as horseshoes or bean bag toss could be installed.</p>	<p>Needs improvement. There is no ADA parking spots or drop-off areas at this playground, and the play structures are not located along ADA accessible paths.</p>	<p>Open to all</p>	<p>CDBG</p>

<p>West Street Recreation Area</p>	<p>A soccer field, a smaller field, and a playground. Lower West Street is parallel to the beginning of the ADA-accessible Heritage Trail, which runs along the river and connects to the Grand Trunk Trail and to the Westville Lake Recreation area.</p>	<p>The smaller of the two fields can be converted into a dog park.</p>	<p>Needs improvement. The playground is connected to an accessible leading path from the parking lot, but the swings and the picnic table with wheelchair clearance are not located along accessible paths. The ADA-accessible ramp located at Lower West Street does not connect to an ADA accessible path from the parking lot.</p>	<p>Open to all</p>	<p>DCR “Our Common Back Yards” Grant</p>
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The town also owns parcels that have been identified for future recreational potential. These include the following:

Table 5-2: Recreational Potential Lands

Recreational Potential Parcels	Recreational Potential
Quinebaug River	Potential of boat launch and fishing.
Dudley River Road Parcel	Use for Center of Hope and other organizations.
Palmerino Recreation Area	Deed mandates the land to be used for recreational or educational purposes.
Torrey Road	Easements with surrounding properties could create an extensive network of hiking and biking mountain trails.
Parcels adjacent to QVRT	Future expansion for parking and recreational areas along the QVRT, from Golden Greek to the Stone Arch Culvert. There is also potential for an off-ramp and a crosswalk at the entrance of the plaza.
American Optical Complex	Property developer’s master plan includes developing trails on this property that will be open to the public.

Public Properties Providing Conservation & Recreation Amenities

The following public properties provide recreational amenities but are not held by municipal conservation or recreation departments. These include the following:

- Alva Gregoire Memorial Fields at West Street School
- Andrew J. Petro Memorial Pool
- Casaubon Senior Center
- Central Street Pocket Park
- Charlton Street Elementary School Playground and Recreation Area
- Eastford Road School Playground
- McMahon Fields and Park
- Southbridge Middle and High School Athletic Fields
- Southbridge Town Common and Gazebo



Town Common



Casaubon Senior Center

Most of Southbridge's publicly accessible conservation lands are owned and managed by non-profit land trusts or state agencies. (Refer to Table 5-3.)

Table 5-3: Public Properties Providing Conservation and Recreation Amenities

Property Name	Owner	Current Use
Alva Gregoire Memorial Fields at West Street School	Southbridge School Department	2 Baseball, 2 Soccer/Field Hockey, 4 Tennis Courts, Playground Area (West Street School). A trail runs behind the school parallel to the Heritage Nature Trail and ends at the base of the dam where it connects with the Heritage Nature Trail extension.
Andrew J. Petro Memorial Pool	MA Department of Conservation and Recreation and operated by the Tri-Community YMCA	Swimming pool
Casaubon Senior Center/Community Center	Town's Council on Aging	Senior and Community Center
Central Street Pocket Park	Southbridge Town Manager	Pocket park
Charlton Street Elementary School Playground and Recreation Area	Southbridge School Department	Football field, playground, gazebo
Eastford Road School Playground	Southbridge School Department	Playground
McMahon Fields and Park	Southbridge School Department	Baseball field
Southbridge Middle/High School Athletic Fields	Southbridge School Department	Athletic fields
Southbridge Town Common and Gazebo	Southbridge Town Manager	Gazebo and bandstand for concerts, festivals, and community events
Breakneck Brook Wildlife Management Area	Massachusetts Department of Fish and Wildlife	Wildlife management area open to the public for fishing, hunting, trapping, hiking, and wildlife viewing.
Claire Birtz Wildlife Sanctuary	Opacum Land Trust	Hiking trails, wildlife habitat, Morse Pond, non-motorized boat use.
Goodell-Morse Memorial Forest	New England Forestry Foundation	Wetlands and wildlife observation

Ledges Sanctuary	Orenda Wildlife Land Trust	Scenic and nature viewing
McKinstry Wildlife Management Area and Trail	Massachusetts Department of Fish and Wildlife	Trailheads in Southbridge are located on Plimpton and Pleasant Streets, wildlife habitat.
Thompson Family Forever Wild Preserve	Opacum Land Trust	Wildlife habitat - The trailhead is located on Eastford Road (Route 198) just south of Dennison Drive with parking along the roadside. The trail is a loop which runs adjacent to approximately 2,005 acres of watershed land owned by the Town of Southbridge.
Quinebaug Valley Rail Trail	Massachusetts Department of Transportation	The Town’s vision for future development of the QVRT includes adding a better surface to the trap rock, conversion of the trail from the intersection of Route 131 to the Route 131 and Route 169 Rotary and on into the downtown area and along the Quinebaug River to the terminus on River Street. The Downtown Redevelopment Plan includes a future riverfront park along the trail. The vision includes a connection to the Grand Trunk Trail and beyond.
Water Department Lands (Reservoir #2, Reservoir #3, Reservoir #4, Reservoir #5, Cohasse Brook Reservoir)	Southbridge Water Department	Water Protection Lands
Denison Rock	Town of Southbridge & Historical Commission	Historical landmark
Oak Ridge Avenue Cemetery	Town of Southbridge Cemetery Department	Gravesite
Southbridge War Memorial	Town of Southbridge	Memorial

<p>Westville Lake Recreation Area</p>	<p>U.S. Army Corps of Engineers</p>	<p>A flood control facility for the Quinebaug River.</p> <p>On-site amenities include three acres of playing fields. Several picnic tables and grills are situated throughout the recreation area. Two large picnic shelters accommodate group gatherings and can be reserved for a fee. Picnic facilities and restrooms are handicapped accessible two boat launches providing easy access to the lake and the slow-moving portions of the river for boating, canoeing, and kayaking..</p> <p>During the winter months, though the entry gates are closed, the recreation area remains a popular destination for hiking, ice skating, sledding, cross-country skiing, and snowshoeing.</p> <p>A trail is located on federal flood control land and consists of the Grand Trunk Trail on the Sturbridge side of Westville Lake and the trail extensions on the Southbridge side. These extensions include a section of the Old South Street, which could be improved by adding sidewalks for pedestrians, and well as a connection to the West Street School. It contains both rolling terrain and the flat rail bed of the Grand Trunk. No motorized vehicles are allowed on the trail, and it is open year-round.</p>
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Permanently Protected Private Parcels

Private protected lands include private forested lands (chapter 61 classified), agricultural lands (chapter 61A classified), recreation lands (chapter 61B classified), lands under a conservation or an agricultural preservation restriction, and private historic properties.

Table 5-4: Permanently Protected Private Lands

Parcel ID/Property Name	Duration of Easement	Current Use
001-005/75 Ellis Road	term-limited	Chapter 61
002-001/Charlton Street Rear	term-limited	Chapter 61
003-081/803 Charlton Street	term-limited	Chapter 61A
010-003/Charlton Street	term-limited	Chapter 61
010-003-A/Charlton Street	term-limited	Chapter 61
011-003-B/Guelphwood Road	term-limited	Chapter 61
013-001/832 Guelphwood Road	term-limited	Chapter 61A
014-002/243 Guelphwood Road	term-limited	Chapter 61B
016-003-A/268 Clemence Hill Road	term-limited	Chapter 61A
016-004/52 Clemence Hill Road	term-limited	Chapter 61A
016-008/Clemence Hill Road	term-limited	Chapter 61A
017-002/405 Clemence Hill Road	term-limited	Chapter 61A
020-002-A/Clemence Hill Road	term-limited	Chapter 61A
020-002-C/Clemence Hill Road	term-limited	Chapter 61A
025-027-E/Torrey Road	term-limited	Chapter 61B
026-003-A/301 Dresser Hill Road	term-limited	Chapter 61
040-002/Dresser Hill Road	term-limited	Chapter 61A
045-012/291 Morris Street	term-limited	Chapter 61
051-036-A/561 South Street	term-limited	Chapter 61A

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051-070/Harwood Farm Road	term-limited	Chapter 61A
059-003-A/Dudley River Road	term-limited	Chapter 61
059-003-C/307 Dudley River Road	term-limited	Chapter 61
059-005/Dudley River Road Rear	term-limited	Chapter 61A
059-006/Dudley River Road Rear	term-limited	Chapter 61A
066-003/Durfee Street	term-limited	Chapter 61B
066-004/383 Eastford Road	term-limited	Chapter 61B
070-001/199 Durfee Street	term-limited	Chapter 61
070-012/Durfee Street	term-limited	Chapter 61B
075-008/408 Breakneck Road	term-limited	Chapter 61
077-001/491 Eastford Road	term-limited	Chapter 61
077-001-B/Eastford Road	term-limited	Chapter 61
086-015/6 Blackmer Road	term-limited	Chapter 61A
086-015/6 Blackmer Road	term-limited	Chapter 61
089-003/North Woodstock Road	term-limited	Chapter 61
090-001/North Woodstock Road Rear	term-limited	Chapter 61
090-002/A J C Clark Lot	term-limited	Chapter 61
091-015/391 Lebanon Hill Road	term-limited	Chapter 61
094-001/Eastford Road	term-limited	Chapter 61
094-002/Eastford Road	term-limited	Chapter 61
094-022-D/Dennison Drive	term-limited	Chapter 61
094-023/Eastford Road	term-limited	Chapter 61
095-022/Eastford Road	term-limited	Chapter 61
095-022-D/Dennison Drive	term-limited	Chapter 61
095-023/Eastford Road	term-limited	Chapter 61

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096-003-B/920 Dennison Drive	term-limited	Chapter 61A
096-003-D/Dennison Drive Rear	term-limited	Chapter 61A
104-005/Eastford Road	term-limited	Chapter 61
104-006/1015 Eastford Road	term-limited	Chapter 61
105-002/919 Eastford Road	term-limited	Chapter 61B
105-003/919 Eastford Road	term-limited	Chapter 61A
105-011/Eastford Road	term-limited	Chapter 61A
106-002/Alpine Drive Rear	term-limited	Chapter 61
106-005/Alpine Drive	term-limited	Chapter 61
108-022/Tipton Rock Road	term-limited	Chapter 61
108-022-A/103 Tipton Rock Road	term-limited	Chapter 61
109-001/Tipton Rock Road	term-limited	Chapter 61
109-002/Tipton Rock Road	term-limited	Chapter 61
110-001/697 North Woodstock Road	term-limited	Chapter 61A
110-002/North Woodstock Road	term-limited	Chapter 61
110-010/North Woodstock Road Rear	term-limited	Chapter 61
111-007/North Woodstock Road Rear	term-limited	Chapter 61
113-005/236 Blackmer Road	term-limited	Chapter 61A
113-006/Blackmer Road	term-limited	Chapter 61A
114-001/346 Blackmer Road	term-limited	Chapter 61A
115-001/Tipton Rock Road	term-limited	Chapter 61
116-004/North Woodstock Road	term-limited	Chapter 61
116-004-A/North Woodstock Road	term-limited	Chapter 61
116-013/990 North Woodstock Road	term-limited	Chapter 61A
117-001/320 Tipton Rock Road	term-limited	Chapter 61

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117-004/873 North Woodstock Road	term-limited	Chapter 61A
117-004/873 North Woodstock Road	term-limited	Chapter 61
118-001/329 Tipton Rock Road	term-limited	Chapter 61
118-001-A/Tipton Rock Road	term-limited	Chapter 61A
119-002-A/329 Tipton Rock Road	term-limited	Chapter 61
119-008/Lebanon Hill Road	term-limited	Chapter 61
119-009/Lebanon Hill Road	term-limited	Chapter 61
119-011/Lebanon Hill Road	term-limited	Chapter 61
121-002/Robert F Para Family Trust CR	In perpetuity	Chapter 61/ Conservation Restriction
121-002-D/Alpine Drive	term-limited	Chapter 61
121-002-E/Alpine Drive	term-limited	Chapter 61
121-002-F/Alpine Drive	term-limited	Chapter 61
121-002-G/Alpine Drive	term-limited	Chapter 61
121-003/Alpine Drive	term-limited	Chapter 61
126-001-A/Breakneck Brook Wildlife Conservation Restriction	In perpetuity	Chapter 61/ Conservation Restriction
133-002/501 Alpine Drive	term-limited	Chapter 61
135-003/Lebanon Hill Road	term-limited	Chapter 61A
135-004/Lebanon Hill Road	term-limited	Chapter 61A
135-012/Lebanon Hill Road	term-limited	Chapter 61A
135-012-C/Lebanon Hill Road	term-limited	Chapter 61
136-008-A/1009 Lebanon Hill Road	term-limited	Chapter 61
136-008-B/977 Lebanon Hill Road	term-limited	Chapter 61
137-001/Tipton Rock Road Rear	term-limited	Chapter 61
137-002/Tipton Rock Road Rear	term-limited	Chapter 61

138-001-E/North Woodstock Road	term-limited	Chapter 61A
139-002/Tipton Rock Road	term-limited	Chapter 61A
141-001/Tipton Rock Road	term-limited	Chapter 61
141-003/Tipton Rock Road	term-limited	Chapter 61
141-004/Tipton Rock Road	term-limited	Chapter 61
142-001/866 Tipton Rock Road	term-limited	Chapter 61
142-002-A/North Woodstock Road	term-limited	Chapter 61
142-003/North Woodstock Road	term-limited	Chapter 61A
142-004/North Woodstock Road	term-limited	Chapter 61A
143-002/North Woodstock Road Rear	term-limited	Chapter 61
143-010/Tipton Rock Road	term-limited	Chapter 61
144-001/North Woodstock Road Rear	term-limited	Chapter 61
143-010/Tipton Rock Road	term-limited	Chapter 61
145-006/Lebanon Hill Road	term-limited	Chapter 61
151-003/Breakneck Brook Wildlife Conservation Restriction	term-limited	Conservation Restriction
152-002/Breakneck Brook Wildlife Conservation Restriction	In perpetuity	Chapter 61/ Conservation Restriction
Morse Cemetery	In perpetuity	Private Cemetery

Figure 5-1: Open Space Inventory Map and Figure 5-2: Open Space Protection Map shows all open space in Southbridge with details on primary purpose, ownership, and level of protection. Figure 5-3: Unique Features map includes trails located in Southbridge.

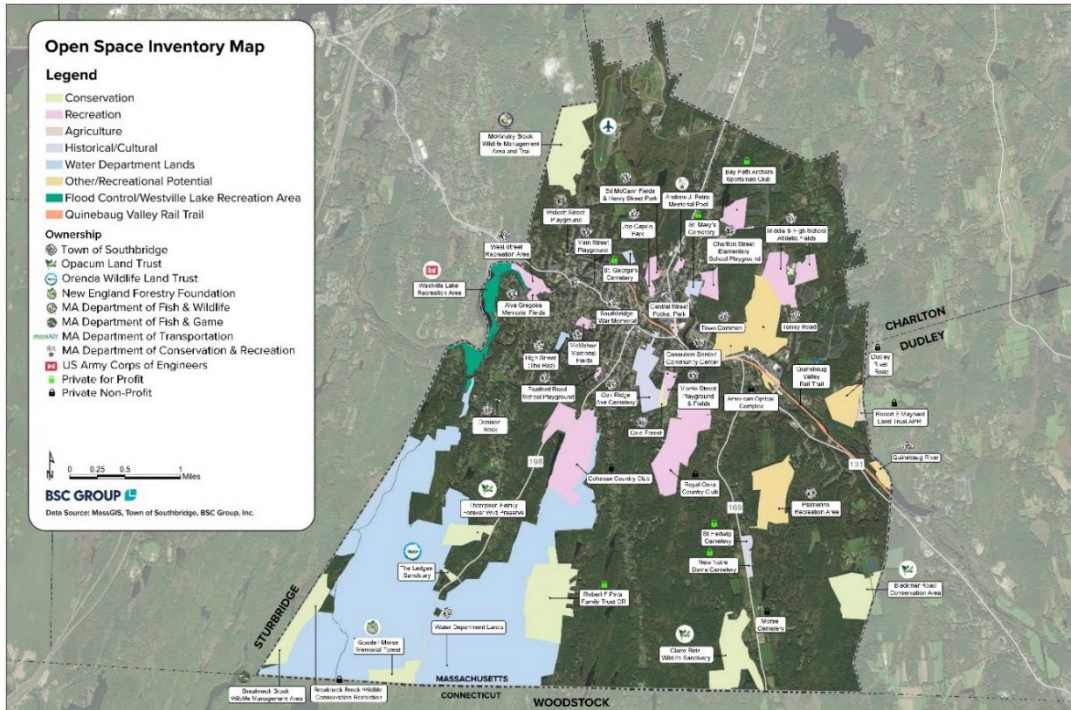


Figure 5-1: Open Space Inventory Map

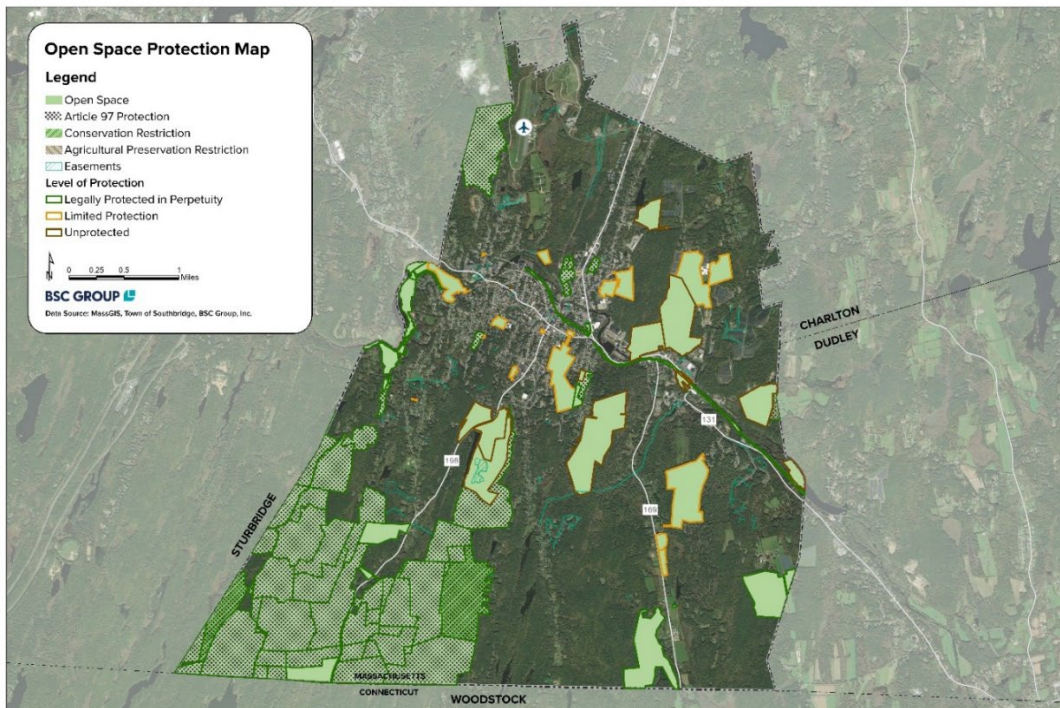


Figure 5-2: Open Space Protection Map

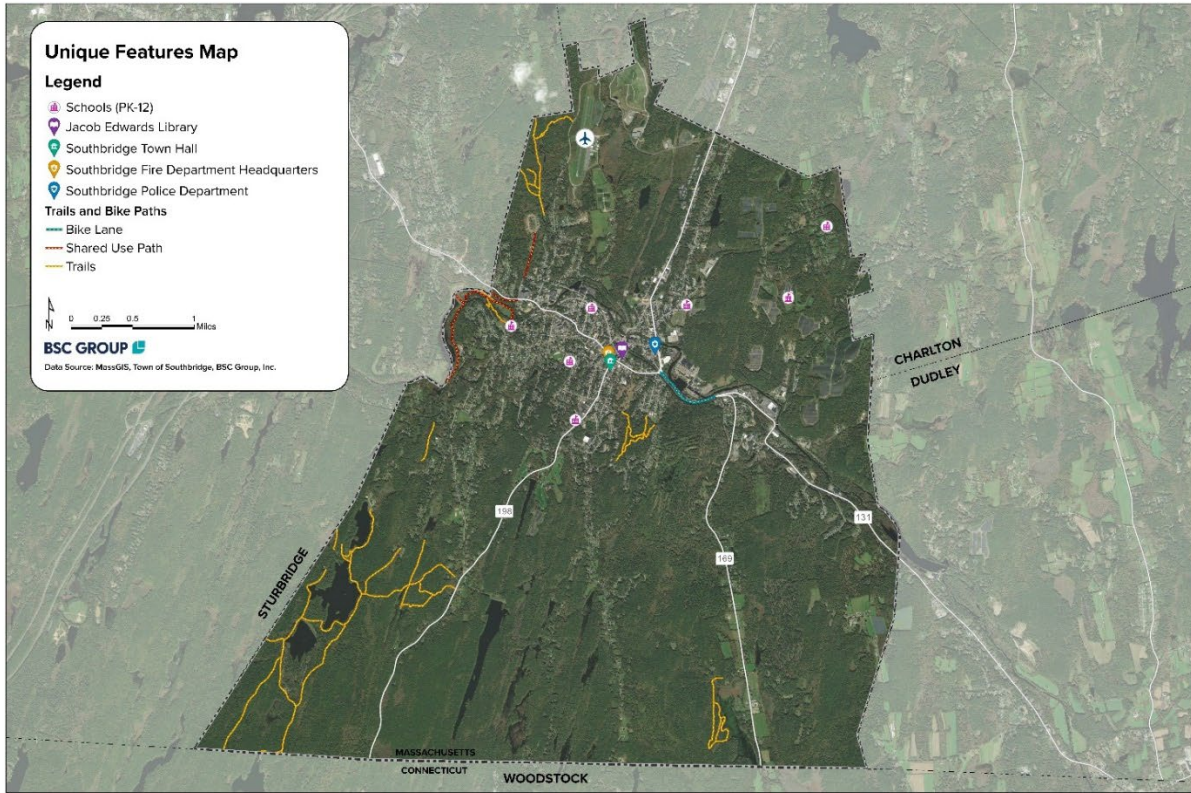


Figure 5-3: Unique Features Map

Park & Open Space Equity

According to MassGIS Environmental Justice (EJ) population data, Southbridge has 15,774 residents living in environmental justice block groups, which represents approximately 89% of the total population. According to EOEEA, residents in predominantly low-income and minority communities often lack open space and recreational resources. Investment in green spaces can provide these communities with increased accessibility, support diverse habitats, protect water and air quality, provide flood control and prevention, and provide reduction in urban heat island effect.

Most of the town's housing is concentrated in or near the downtown, creating a need for recreation and open space within developed areas, as well as trails and passive recreation opportunities in the community's outlying areas. Of the 14 EJ Block Groups in Southbridge, five meet the minority EJ criteria and nine meet the minority and income criteria. (See Figure 3-5: Environmental Justice Map and Appendix A.)

A neighborhood within a community is defined as an EJ population if it meets one or more of the following criteria:

- The annual median household income is 65% or less of the statewide annual median household income.
- Minorities comprise 40% or more of the population.

- 25% or more of households lack English language proficiency.
- Minorities comprise 25% or more of the population and the annual median household income of the municipality in which the neighborhood is located does not exceed 150% of the statewide annual median household income.

Based on National Recreation and Parks Association (NRPA) metrics, Southbridge parks are more crowded than those typically managed by park and recreation agencies, with one park serving 2,524 residents. In comparison, a typical agency serves one park for every 2,386 residents.¹⁵ The 2025 online survey revealed that Southbridge residents are generally dissatisfied with the condition and availability of recreational facilities and programming for all ages.

According to Trust for Public Land's (TPL) ParkServe data, over 42% of Southbridge residents live within a 10-minute walk to some kind of park or recreation area. (See Figure 5-12: Park Equity Map and Appendix A.) While the quantity of parks may seem sufficient, several environmental justice communities and low/moderate income neighborhoods lack access to public parks, except for the Town Center area. (See Figure 5-4: Park Equity Map, Figure 3-3: Environmental Justice Map, and Appendix A.) The majority of the respondents of the 2025 survey (41%) indicated that it takes them over 15 minutes to walk to the park or recreation facility located nearest to them.

ParkServe data is prioritized based on six equally weighted factors: population density, density of low-income households, density of people of color, air pollution respiratory hazard, urban heat islands, and health. However, ParkServe's data is limited to its definition of accessible parks and walkable service areas.

ParkServe's methodology uses GIS boundaries, satellite imagery, and signage viewable through Google Street view to delineate park boundaries. The ParkServe database uses Esri's Street Map Premium network dataset to create a half-mile walkable service area, which allows for physical barriers such as highways, train tracks, or rivers without bridges.

Southbridge also faces a variety of public health challenges including high rates of childhood asthma, diabetes, hypertension, and cardiovascular diseases.¹⁶ The town also has a high level of social vulnerability. Socially vulnerable populations are those affected by factors such as socioeconomic status, household characteristics, racial and ethnic minority status, age, disability, housing type, and lack of access to transportation. Investment in green spaces can offer these communities environmental benefits, such as improved air quality and increased opportunities for physical activity. Southbridge's Municipal Vulnerability Preparedness (MVP) Summary of Findings identifies older adults, individuals with disabilities, and those

15. Ben Paulin. 2023. *Southbridge Public Schools Recognize Eagle Scout Peyton Sanborn for Donation to Renovate Eastford Road School Blacktop Activity Space*. Southbridge: Southbridge News. <https://southbridgenews.org/2023/09/08/southbridge-public-schools-recognize-eagle-scout-peyton-sanborn-for-donation-to-renovate-eastford-road-school-blacktop-activity-space/>.

16. UMass Memorial Heath. 2022. "Community Health Assessment." www.harringtonhospital.org. <https://www.harringtonhospital.org/wp-content/uploads/Harrington-CHA-2022-9.8.pdf>.

experiencing homelessness as socially vulnerable groups. Older adults and individuals with disabilities often face limited mobility and health conditions that increase their vulnerability during extreme weather events.^{17,18} Over 14% of residents in Southbridge are aged 65 and over and 19% of residents have a disability. People with disabilities include those with ambulatory difficulty that require the use of a wheelchair, walker, or cane, visual impairments, hearing impairments, cognitive difficulty, self-care difficulty, or independent living difficulty. Socially vulnerable populations face greater risks during public related health emergencies due to factors such as socioeconomic status, household characteristics, racial and ethnic minority status, or housing type and transportation.

The Center of Disease Control’s (CDC) Social Vulnerability Index (SVI) indicates the relative vulnerability of U.S. Census tracts based on these factors. Southbridge’s overall vulnerability is assessed as medium-high to high. The needs of socially vulnerable populations are frequently overlooked, yet they are critical to advancing the equitable distribution of environmental assets. Therefore, open space upgrades should prioritize universal design, accessible pathways, and adaptive play equipment to ensure they meet the needs of diverse groups.

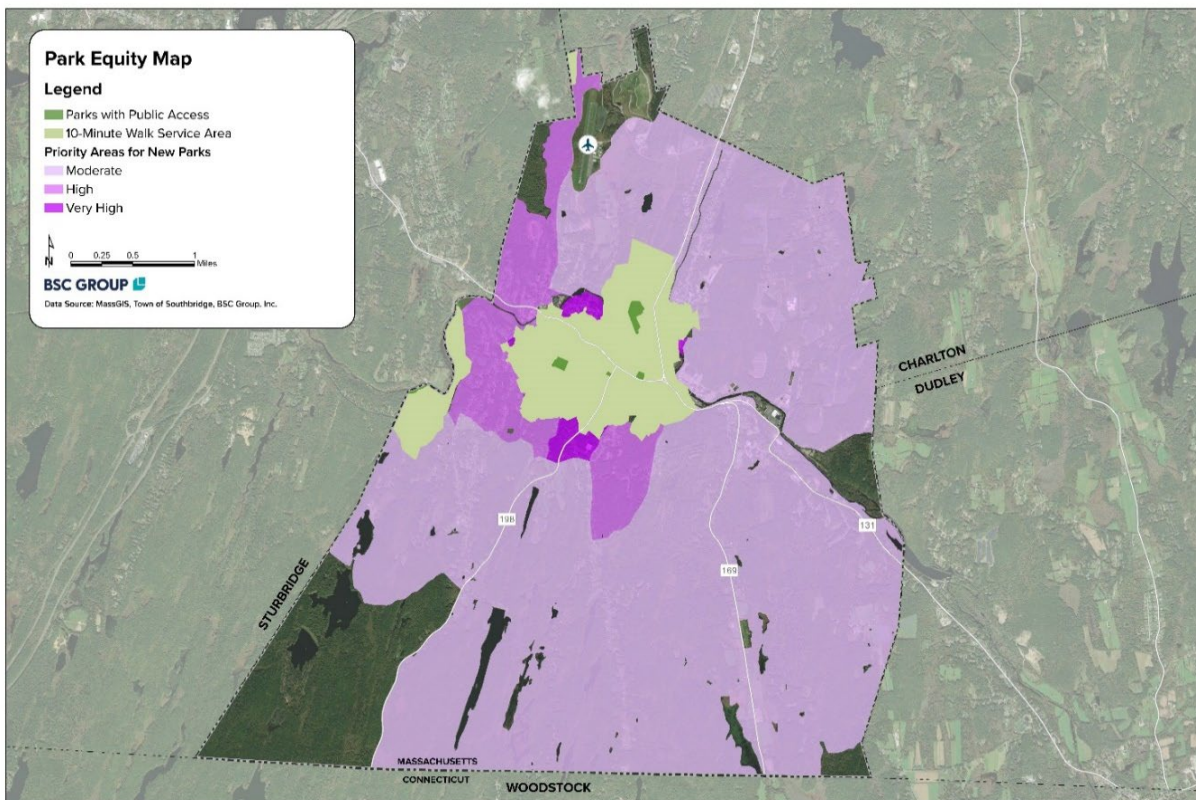


Figure 5-4: Park Equity Map

17. EPA. 2025. "Climate Change and the Health of Older Adults." [www.epa.gov](https://www.epa.gov/climateimpacts/climate-change-and-health-older-adults#:~:text=Many%20older%20adults%20have%20limited,after%20an%20extreme%20weather%20event.&text=Aging%20and%20some%20medications%20can,death%20as%20the%20climate%20warms.). January 2.

18. EPA. 2025. "Climate Change and the Health of People with Disabilities." [www.epa.gov](https://www.epa.gov/climateimpacts/climate-change-and-health-people-disabilities.). January 2.

6. Analysis of Needs

The 2004, 2017, and the current 2025 Open Space & Recreation Plan Updates were shaped by community input. The 2004 Update grew out of the 2003-2004 Long Term Plan process and the 2017 Update arose out of the 2013 Master Plan. The 2025 Update builds upon the 2013 and 2017 OSRP to reflect current character, needs, and goals of the community. As detailed in Section 2, the 2025 Update incorporates resident feedback collected through an open house, public forum, and an online survey.

Online Survey

An online survey was posted on the municipal website from January 21, 2025 through February 24, 2025. The intent was to assess the needs and concerns of Southbridge residents regarding open space, recreation, and the modernization of the Casaubon Senior Center/Community Center. Participants shared their satisfaction with parks and recreation, identified areas for improvement or preservation, and expressed their desired amenities and upgrades. The survey also explored accessibility issues and gauged support for adopting the Community Preservation Act (CPA). Open-ended questions allowed respondents to provide additional feedback on parks and recreation.

A total of 39 responses were collected, 38 from the English survey and one response for the Spanish survey. A summary of key findings is included below, with full survey results available in Appendix B: Survey Results.

Key Findings

- The Casaubon Senior Center is the most frequently used recreational facility in town, with 23% of respondents visiting at least once a week.
- Respondents frequently participate in special events at the Casaubon Senior Center/Community Center, such as Memorial Day picnics, blood drives, and health screenings and expressed interest in additional community events, including craft fairs, movie nights, and community dinners.
- Many respondents indicated that they are dissatisfied with the availability of current recreational programming.
- 95% of the respondents rarely or never visit the Main Street Playground.
- The most visited conservation areas are the Heritage Nature Trail, Quinebaug Valley Rail Trail, and Cole Forest, with “occasional use” higher than other conservation areas.
- Passive recreation such as walking and hiking are the most common activities in Southbridge’s recreational areas.
- The majority of respondents (41%) indicated that it takes them over 15 minutes to walk to the park or recreation facility located nearest to them.
- The top five desired recreational needs in Southbridge include:
 - Nature trails (65.85%)
 - Biking trails (31.71%)

- Picnic areas (29.27%)
- Playgrounds (24.39%)
- Pickleball courts (17.07%)

- The top five desired improvements for existing parks and recreational facilities include:
 - Creating safer/wider sidewalks (51.22%)
 - Creating dog-friendly parks (46.34%)
 - New restroom facilities (46.34%)
 - Expanding and improving bicycle and pedestrian network (39.02%)
 - Improved security (36.59%)
 - Linking open space parcels and trails (34.15%)

- Protecting water resources, water supply, and conservation lands is a high priority for most respondents.

- The following location-specific recommendations were suggested through the survey:
 - Adaptive play equipment at Westville Lake Recreation Area.
 - Wider sidewalks at Morris Street near the playground.
 - Wider sidewalk and future bike path/connection for cyclists to walk/bike to Big Y Plaza.
 - Access and parking for new Rail Trail.
 - A bridge crossing at Main Street near the Town Common.
 - Upgrades to sports courts/fields at Morris Street Playground, Ed McCann/Henry Street Fields, and West Street School.

- The majority of respondents (42.5%) indicated support for adopting the Community Preservation Act (CPA), while 40% were unsure.

Open House

The Town held an open house on February 27, 2025. Participants provided their thoughts on display maps, shared their recreational preferences including recreational activities, nature-based activities, environmental health and sustainability, activities at Casaubon Senior Center/Community Center, and other programming through dot voting. They also shared aspirations for the town’s open space by writing on sticky notes and placing them under broad based recreational goals. A summary of key findings is included below.

Table 6-1: Recreational Preferences Dot Voting Results

Category	Dot Votes
Field Based Recreational Activities	<p>Tennis (5)</p> <p>Multi-Use Fields (4)</p> <p>Track Running (2)</p> <p>Pickleball (2)</p> <p>Little League (2)</p> <p>Volleyball (2)</p> <p>Basketball (1)</p>

<p>Nature Based Activities</p>	<p>Hiking and Biking Trails (7) Picnic Areas (6) Fishing Docks (6) Wildlife Watching and Scenic Viewing (5) Meditation Space (3) Boat Launch Areas (3) <u>Write Ins:</u> <i>Can some activities be achieved at the same location? i.e. the picnic area doubles as meditation space or wildlife watching area. Create a local trail.</i></p>
<p>Recreational Amenities</p>	<p>Shade Structures (7) Benches (5) Adaptive Play Equipment (5) Fitness Stations (4) Informative Signage (3) Water Fountains (2) <u>Write Ins:</u> <i>Informative signage especially on the rail trail. Mindful of graffiti risk with informative signage – have a program with the police department where if graffiti is found they know who did it, they are asked to volunteer instead of being penalized.</i></p>
<p>Activities at Casaubon Senior Center/Community Center</p>	<p>Social Groups (10) Community Events (7) Arts and Crafts (6) Indoor Walking Track (5) Indoor Climbing Wall (1) Indoor Sports (1) <u>Write Ins:</u> <i>Sound treatment of the gym area Outdoor seating/picnic areas More pleasing front access Parking lot lighting</i></p>

<p>Environmental Health and Sustainability</p>	<p>Stormwater Mitigation Through Green Infrastructure (7) Environmental Education (6) Invasive Species Management (4) Urban Tree Canopy (3) Environmental Stewardship (2) <u>Write Ins:</u> <i>Create a trail easement along Cady Brook</i> <i>Fruit trees for public consumption</i> <i>Have high schoolers work with younger students on environmental education.</i> <i>Environmental science class -> younger students.</i> <i>Incorporate small farming into environmental education.</i> <i>Teach ways to “eat the invasives”</i> <i>Earth day bio/blitz invasive removal</i></p>
<p>Other</p>	<p>Community Garden (13) Splash Pad (9) Dog Parks (4) Playgrounds (4) Sledding (3) Improved Parking (2) <u>Write In:</u> <i>Community farm on a piece of town owned land.</i></p>

Table 6-2: Aspirations for Broad Board Goals

Broad Based Goals	Aspirations
<p>1. Conserve and protect surface water supply lands in the southwest quadrant of Town.</p>	<ul style="list-style-type: none"> ▪ Expand fisheries in waterways all over town. ▪ Education is needed to respect catch basins and waterways in all areas of town. ▪ Protect the land around Cohasse Brook.
<p>2. Improve and maintain existing recreational resources and facilities.</p>	<ul style="list-style-type: none"> ▪ Improve tennis courts and lower West Street fields. ▪ Movies on the Common.
<p>3. Protect and preserve key natural resource areas from future development.</p>	<ul style="list-style-type: none"> ▪ Protect wetlands and native plants. ▪ Controlling Coyotes and Coydog areas on Dennison. ▪ Wooded land owned by United Lens - Could an effort be made to get them to put a CR on it? ▪ Own the Morris St. golf course.

<p>4. Link existing and potential trails and recreational resources.</p>	<ul style="list-style-type: none"> ▪ With schools too – there is a certified vernal pool at SMHS. ▪ Including recreational organizations like Bay Path Archery in our resources. ▪ Promote bylaws/legislation that legalize “rambling” or protected private property.
<p>5. Expand and enhance existing recreational resources, green space, and open space.</p>	<ul style="list-style-type: none"> ▪ Splash Pads at Morris and Charlton Street. ▪ Canoe/kayak launch on Quinebaug by Wellsworth Hotel. ▪ Community Orchard on the vacant Main Street lot across from Wells. ▪ Pocket park in the vacant lot next to Walgreens – by Vienna (shuffleboard).
<p>6. Enhance climate resiliency in open space to better adapt to climate change.</p>	<ul style="list-style-type: none"> ▪ Community gardens. ▪ Encourage naturalization of lawns. ▪ Encourage small scale farming.

A. Summary of Natural Resource Protection Needs

The 2004 and 2017 updates identified several resources in need of protection, including the rich architectural heritage of the historic downtown district, old cemeteries, the AO complex, the Southbridge Town Common, and landscapes such as Dennison Rock and the banks of the Quinebaug River. These resources are considered irreplaceable assets to the community. Both updates emphasized the importance of preserving the habitat of endangered species and protecting the town’s reservoirs and watershed, which are regarded as unique treasures. The Long-Term Plan recommended expanding protections for watershed and other water resource areas. The 2025 online survey also indicated that preserving water resources and water supply is a high priority for Southbridge residents.

Additionally, while the Quinebaug River is within walking distance for many residents, its accessibility is limited. The 2017 Update highlighted the potential for improving both access and protection along the river, supporting the development of additional recreational spaces. The Downtown Urban Renewal Plan proposed parks and open space that draw residents and visitors closer to the Quinebaug River.

Water Resources

Resources identified as needing protection include over 2,005 acres of Southbridge Water Department land in the southwest corner of town. This land contains key water resources such as Reservoirs 3, 4, and 5, and the Cohasse Brook Reservoir. These water sources are protected by extensive undeveloped watershed lands, ensuring high-quality potable water. Additionally, there are over 1,300 acres of wetlands in Southbridge.

Habitat and Wildlife

Southbridge is home to large areas of mixed hardwood and pine forest that produce clean air, reduce run-off and flooding, provide wildlife habitat, and moderate climatic conditions. One of the town's most unique natural resource areas is located along the eastern border where the Quinebaug River flows into the Town of Dudley. Southbridge also has several areas identified in the BioMap as critical lands and waters in need of conservation. The BioMap consists of two components: Core Habitats and Critical Natural Landscapes. Core Habitats identifies areas that are critical for the long-term persistence of rare species, exemplary natural communities, and resilient ecosystems across Commonwealth.¹⁹ Over 33% of Southbridge is covered by BioMap Core Habitat.²⁰ BioMap Critical Natural Landscapes identifies large landscapes minimally impacted by development and buffers to core habitats and coastal areas, both of which enhance connectivity and resilience. Over 44% of Southbridge is covered by BioMap Critical Natural Landscapes. The Environmental Inventory and Analysis (Section 4), covers Southbridge's open spaces valuable to wildlife and includes priority habitats protected under the Massachusetts Endangered Species Act (MESA).

Southbridge has protected more than 70% of NHESP identified estimated habitats of rare wildlife and more than 25% of priority habitats of rare species through the protection of watershed land. The Watershed also protects a large portion of one of the BioMap Core Habitat and Critical Natural Landscapes. The Watershed itself is protected by restrictions placed on land within it through the Watershed Protection Overlay Zone, Section 15 of the Southbridge Zoning Bylaw. (See Figure 3-7: Zoning Map and Appendix A.) The town should continue to protect these fragile lands identified by the Massachusetts Division of Fisheries and Wildlife, the Nature Conservancy in Massachusetts, and the Natural Heritage & Endangered Species Program. (See Figure 4-7: Natural Resources Map and Appendix A.)

Open Space

Over 95% of Southbridge's open spaces have some level of protection. Forested areas and steep slopes add visual appeal; with the majority remaining undisturbed by development. Southbridge was once highly agrarian. Although many farms have been lost, 69 parcels currently have temporary protection under M.G.L. Chapter 61A. The Town has an agricultural commission that "encourages, promotes, and facilitates the continued pursuit of farming and a sustainable agricultural industry, supports and advances agricultural-based economic opportunities in the Town, and works for the preservation of prime agricultural land in Southbridge."²¹ The town does not currently have a Right to Farm bylaw, but the Commission may adopt one in the future. The town should promote the production of locally grown food, and a balance must continue to be struck between protecting open space and promoting future development.

19. MassGIS. 2022. "BioMap: The Future of Conservation." [www.mass.gov](https://www.mass.gov/info-details/massgis-data-biomap-the-future-of-conservation). November. <https://www.mass.gov/info-details/massgis-data-biomap-the-future-of-conservation>.

20. MassWildlife. n.d. "BioMap Town Report: Southbridge." [www.mass.gov](https://www.mass.gov/info-details/biomap-town-report-southbridge). <https://www.mass.gov/info-details/biomap-town-report-southbridge>.

21. Town of Southbridge. 2025. "Agricultural Commission." [www.ci.southbridge.ma.us](https://www.ci.southbridge.ma.us/185/Agricultural-Commission). January 2. <https://www.ci.southbridge.ma.us/185/Agricultural-Commission>.

B. Summary of Community's Outdoor Recreation Needs

The Town's Recreation and School Departments manage recreation facilities across approximately 166 acres. Recreation facilities include playgrounds, playfields, baseball/softball fields, tennis courts, soccer fields, and football fields. Recreation potential needs to be promoted near the town's highly populated center. While Southbridge has many opportunities for recreation, facilities need renovation and improvements. In addition, there is a need for small, scattered recreation sites and green spaces in denser neighborhoods, such as small gardens and unstructured play for small children. Given the large numbers of youth coupled with the expected increase in the town's older adult population, there is a likely need for expanded recreation programming and outreach, particularly in the town's densely populated areas. To enhance walkability and provide alternative transportation choices, there is an ongoing need to link existing and potential recreation facilities and areas for both walking and biking.

Parks and facilities need updates and better maintenance to make them more inviting and attractive, and they also need stronger policing to reduce incidents of vandalism. Echoing the 2013 Master Plan, the Town must work to become cleaner and safer. Southbridge residents at the OSRP "open house" community meeting have also expressed a desire for improvements to tennis courts and the addition of splash pads and pickleball courts.

Special Open Space and Recreation Needs

The Tri-Community YMCA has developed many programs for older adults. However, passive recreation options that are not part of organized activities are also important for promoting overall well-being. These include easy to moderate trails and facilities that allow access to natural and scenic resources. Improving and maintaining facilities is important. The Town's Subdivision Regulations encourage cluster design with trails and walking paths for older adults and has two subdivisions restricted to those over 55 with smaller homes and comfortable walking trails. It is important to consider the needs of older adults when facilities are improved or expanded.

Casaubon Senior Center

The Casaubon Senior Center is an important asset for the Town of Southbridge. The community center is programmed and used primarily by both the Council on Aging and the Recreation Department and is also rented out by other organizations for a range of recreational activities. The building serves as the Town's primary shelter, and several critical improvements have been identified in the 2024 Hazard Mitigation Plan to ensure it can continue to be used as a heating and cooling location during extreme temperature events.

The Council on Aging offers a wide range of programs and activities in the building year-round including:

- Exercise class
- Chair yoga
- Cornhole

- Pickleball
- Senior tap dance
- Coffee with a cop
- Blood pressure screening
- Games (Pitch, scrabble, bingo)
- Activities (knitting, arts and crafts)
- Town wide community events e.g.. Memorial Day BBQ

The Recreation Department hosts a 5-week Summer Recreation Program onsite with programming for ages 5-11. During the summer of 2024, the program averaged 35 children per day.

The building is also used by various leagues, groups, and other organizations including:

- Central Mass Lightning (youth softball)
- Sturbridge Softball
- Southbridge Youth Soccer
- Pitching clinic
- Stars of Our Future (youth development)
- Pickleball
- MassPower Volleyball
- Football drills
- Cops & Kids

In addition to the building, the fields and grounds are also highly utilized by various youth and adult leagues including:

- Southbridge Little League
- Pop Warner Football
- Southbridge Youth Soccer
- Adult Leisure League Baseball
- Southbridge Flag Football League
- Handball
- Pickleball
- Stars of Our Future
- Adult Softball

The 2017 OSRP identified the following goals regarding the community center:

- A renovation of the building could increase the usability of the facility. This includes improving the acoustics of the multi-purpose room and installing a climbing wall, indoor handball wall, and walking track, etc.
- Re-organize the Recreation Department to include a full-time director position and include management of the Community Center.

The draft 2024 Hazard Mitigation Plan identifies the following action items regarding the Community Center:

- Investigate, repair, or purchase an air conditioner so the Community Center can continue to function as a cooling station.

- Complete much needed upgrades including the installation of a new HVAC system and improvements to parking lot drainage.

Casaubon Senior Center Facility Study

As part of the 2025 OSRP, a Facilities Study was prepared to examine the existing and future capital needs to provide continued and potentially expanded programming for the community. The study provides a set of strategies for the use and modernization of the space and provides the Town with an order of magnitude cost estimate for various options.

Kuhn Riddle Architects and Designers (KR) provided a tiered renovation approach with recommendations and pricing upgrades for the Casaubon Community Center. The evaluation included review of the Property and Conditions Report from 2016, documenting the existing conditions of the property, and recommending repair and maintenance items for continued operation of the building for community programming. The team met with the Casaubon Community Center's Facility and Recreation Directors, the Town of Southbridge Planning Director, and the Town Manager and engaged an engineering consultant to review the current condition of the mechanical, electrical, plumbing and fire protection (MEP/FP) systems in the building.

The tiered renovation approach provides prioritization of infrastructure and design recommendations and defines phasing options that support short and long-term needs and financial resources:

- Tier I includes all upgrades required for life safety, including site lighting and pedestrian access to the building, paving, parking and drainage repairs/resurfacing; building code compliance, including accessibility/ADA requirements; functionality and efficiency of MEP/FP systems; upgrades to the building envelope – roofing, flashing, drainage, masonry repair, window, and door replacements as needed; and abatement and replacement of hazardous materials throughout the building.
- Tier II includes Tier I items, with the addition of improvements based on the functionality and usability of the building for its programmed needs. These items include new building signage and interior wayfinding signage, interior lighting and finishes for flooring, ceilings, paint, interior doors (with ADA compliant hardware and acoustic seals), interior partition and room layout modification to improve public and private circulation and program organization and functionality, and exterior upgrades including usable patio space, landscaping, shade structures, benches, and pedestrian access to adjacent recreational fields.
- Tier III includes Tiers I & II items, with preliminary consideration of opportunity for an addition to the building, and a proposed location for the additional building area on the existing site to accommodate future growth. KR is providing overall building floor plans and renderings to show the full renovation potential of the building, along with a schematic level pricing estimate for each of the tiers of renovation scope. A complete copy of the Casaubon Facilities Study can be found in Appendix C.

It is important that the Town is aware of the Massachusetts Statewide Comprehensive Recreation Plan (SCORP) priorities in order to propose projects that fit the “bigger picture” and lead to better chances to obtain grant funding, but also, to affirm that many of the town’s open space and recreation needs are mirrored at the state level. Some of these include:

- Improving access to water-based recreation,
- Supporting the acquisition of land that will protect water supply,
- Acquiring land that will facilitate trail connections to local parks and recreation areas, as well as connect and/or complete existing trail networks,
- Acquiring land that will create new opportunities for trails or walking paths, particularly in Environmental Justice areas,
- Prioritizing funding of neighborhood parks in Environmental Justice areas, especially new parks,
- Continuing to promote park design as a tool for climate change resilience,
- Supporting the development of neighborhood park-type amenities, such as water spray parks, dog parks, community gardens, and
- Acquiring land mapped as Core Habitat, Critical Natural Landscape, and Local and Regional Components in the BioMap.

Importance of Green Space and Opportunities to Create Them

It is important to create and maintain green spaces; the creation of neighborhood green space improves living conditions in existing residential areas, especially those areas that are densely populated. The 2025 OSRP survey identified nature and biking trails as the most desired recreational needs. Additionally, participants indicated that walking, strolling, and fitness activities are the most frequent activities they participate in when visiting parks and recreational facilities in Southbridge. Currently, the Quinebaug River runs through the town and offers unique opportunities for recreation and open space amenities; the banks of the river are lightly developed and could be made accessible to a large portion of Southbridge residents.

There is the potential for a waterfront park in the downtown area. In addition, connecting the Heritage Trail with the Grand Trunk and the QVRT Rail Trails would provide improved access for many residents who otherwise could not secure transportation to the Westville Lake and Recreation area. The creation of such a regional network allows for alternative transportation, bicycling instead of driving from Sturbridge to Dudley. This addresses another 2013 Master Plan goal: sidewalks and trails need to be reviewed for condition, access, and signage to encourage physical activity and wellness and promote “active living.” The Town’s zoning includes provisions for cluster subdivisions, which allow for greater density in exchange for open space that is protected through conservation restrictions.



There will continue to be the need to update this plan's inventory of recreation resources. Also, there is the need to create a mapped inventory of existing trails, potential connections, and potential new trails. Much can be accomplished through linking elements that already exist. There is also an opportunity to expand the trail network and multiply the benefits and enjoyment of three currently listed recreation facilities and open space amenities: Capillo Park, McCann Fields and Henry Street Park, and Carpenter Pond. These three areas adjoin each other, but they are separated by topography (elevation) and vegetation (weeds encircling & invading Carpenter Pond). Like the river, these three recreation resources lie in the heart of Southbridge's densest residential areas.

Figure 6-1: Capillo Park, McCann Fields, Henry Street Park, & Carpenter Pond



Joe Capillo Park Connection to Henry Street Park & McCann Fields

C. Management Needs

The 2013 Master Plan contains the following goal statement, found on page 106: *“Recognize and act on the fact that our future well-being depends on protecting the natural environment by living and working in ways that support our long-term survival.”*

The community has long urged more proactive planning and action. Mandates from the Master Plan position Southbridge to incorporate principles of smart growth, including:

- Create a mix of land uses,
- Utilize compact building design,
- Offer a range of housing opportunities and choices,
- Promote walkable neighborhoods,
- Foster distinctive, attractive communities with a strong sense of place,
- Preserve open space, farmland, natural beauty and critical environmental areas,
- Provide a variety of transportation choices,
- Make development decisions predictable, fair, and cost effective, and
- Encourage community and stakeholder collaboration in development decisions.

Key recommendations include:

- Promote a sustainable future
- Prepare for climate change
- Protect watersheds
- Promote use of renewable energy sources
- Protect biodiversity

Mapping needs to be more accessible to provide visual aids for decision-making. For example, mapping can help make a decision that might affect a habitat corridor or measure the proximity of a proposed subdivision is to a sensitive environmental area. Underlying this direction is the need to learn more progressive tools at the disposal of the decision-making bodies – e.g., hosting a presentation by an expert on how to protect biodiversity and watersheds, with strategies such as modifications to zoning, the permitting process, and partnering with land trusts.

Budgetary issues have forced the Town to seek alternative funding sources for increased maintenance and the policing of recreational assets. Southbridge has a volunteer clean-up program. While the CPA has not gained traction in the community in the past, a strategy may be to reintroduce it as an option and embark on an educational campaign to get voters to approve it.

7. Ten-Year Action Plan

There is a well-defined path regarding Town goals to maintain and improve facilities, create additional facilities to meet current and future needs, protect the watershed and other resources, connect facilities and create pathways to the Quinebaug River, protect and enhance the historical downtown and unique community character, and highlight the Town’s walkability, among others. Additionally, the Downtown Urban Renewal Plan proposes the creation of new parks and open spaces that draw residents and visitors closer to the Quinebaug River.

At the OSRP community meetings held on April 28, 2025, and May 13, 2025, five general conceptual goals were discussed and attendees offered suggestions for strategies and objectives that were later utilized in forming the Action Plan.

Table 7-1: Broad-Based Goals and Objectives

Goals: General Concepts	Objectives: Ideas for Accomplishing Goals
<p>Conserve and protect surface water supply lands in the southwest quadrant of town.</p>	<ul style="list-style-type: none"> ▪ Review the current watershed district zoning bylaw and ensure long term protection of water resources. ▪ Plan for expansion of the watershed protective zoning overlay district. ▪ Evaluate the feasibility of a land acquisition program to ensure protection of water resources. ▪ Continue monitoring and managing adjacent land uses to prevent negative impacts on water quality.
<p>Improve & maintain existing recreational resources and facilities.</p>	<ul style="list-style-type: none"> ▪ Develop long-term plans for recreational resources, including trails. ▪ Reorganize the management structure for recreation facilities and plan for the development of new facilities. ▪ Address safety concerns and prevent vandalism in parks, playgrounds, and trails. ▪ Explore the potential for the Department of Conservation and Recreation (DCR) to acquire the Quinebaug Valley Rail Trail (QVRT), currently under the jurisdiction of MassDOT.

<p>Protect and preserve key natural resource areas including NHESP Natural Communities, BioMap Core Habitat and Natural Landscapes, wetlands, floodplains, buffer zones, conservation corridors, farmland and prime farmland soils, scenic or historical assets, etc. from future development.</p>	<ul style="list-style-type: none"> ▪ Identify & prioritize BioMap Core Habitats and Natural Landscapes for conservation. ▪ Evaluate if wetlands, BioMap areas, vernal pools, forested lands, & other natural resources are adequately protected through conservation measures. ▪ Review and revise the zoning bylaw to promote cluster/PUD developments that maximize open space and facilitate conservation focused subdivisions, with linkages to other protected land. ▪ Identify strategies to preserve farmland and encourage conservation farming practices. ▪ Increase and expand educational programs focused on environmental stewardship and the protection of natural resources. ▪ Support local agriculture by promoting sustainable farming practices and increasing the availability of locally grown food.
<p>Link existing & potential trails & recreational resources.</p>	<ul style="list-style-type: none"> ▪ Explore and pursue opportunities to connect existing trails with the regional trail system, including but not limited to the Quinebaug Valley Rail Trail. ▪ Implement a multi-modal transportation system alongside safety upgrades identified in the Complete Streets Project Prioritization Plan, Road Safety Audits, and a Safe Streets for All (SS4A) Action Plan.
<p>Expand and enhance existing recreational resources, green spaces, & open space.</p>	<ul style="list-style-type: none"> ▪ Integrate open space & recreation considerations in the implementation of the Master Plan and the Downtown Urban Renewal Plan, particularly in areas with the potential for economic development to attract businesses. ▪ Incorporate trails & recreation facilities in new developments, as suggestions or requirements, to promote connectivity. ▪ Expand and improve recreation opportunities for older adults, children, and environmental justice communities. ▪ Develop a funding strategy to support the protection of open spaces and the development of new recreational facilities. ▪ Enhance public access to the Quinebaug River.

<p>Enhance climate resiliency in open spaces to better adapt to climate change.</p>	<ul style="list-style-type: none"> ▪ Implement stormwater mitigation strategies such as green infrastructure to reduce runoff and improve water quality. ▪ Expand the tree canopy in high heat areas to reduce the urban heat island effect. ▪ Protect the town’s street trees and forests and promote their benefits for biodiversity and climate resilience. ▪ Implement recommendations from the town's Municipal Vulnerability Preparedness Report and Hazard Mitigation Plan.
<p>Enhance and expand recreational opportunities for all ages at the Casaubon Community Center.</p>	<ul style="list-style-type: none"> ▪ Complete interior improvements to make the community space more accessible, inviting, and modernized. ▪ Complete interior improvements to the building to better delineate and separate usable areas, improve acoustics, and ensure the interior layout maximizes efficiency. ▪ Complete exterior improvements to the property to create multi-purpose outdoor space for activities and groups. ▪ Utilize the 2025 Casaubon Community Center Facility Study to prioritize and pursue funding for improvements that will serve the widest number of user groups.

These broad-based goals and objectives were further developed into specific action steps. The general goals are listed in bold with specific action steps listed below. A ten-year timeframe is suggested for feasible projections of the actions.

Priorities

All the action steps are considered high priority and are included because they are all important to the town. These have been separated into First (P1), Second (P2) and Third (P3) priorities.

Responsible Parties

Specific parties have been identified for each action step, but it is important for all Town departments, boards, and committees to work cooperatively and with good communication to best implement these OSRP goals as well as any other Town initiatives.

Acronyms for Responsible Parties

- Conservation Commission (CC)
- Council on Aging (COA)
- Department of Public Works (DPW)

BSC GROUP

TOWN OF SOUTHBRIDGE, MA | OPEN SPACE AND RECREATION PLAN UPDATE

- Economic Development and Planning (ED&P)
- Open Space and Recreation Committee (OSRC) - to be created
- Planning Board (PB)
- Recreation Department (RD)
- Southbridge Agricultural Commission (SAC)
- School Department (SD)
- Southbridge Police Department (PD)
- Southbridge Trails Committee (STC)
- Town Manager (TM)
- Water Department (WD)



Southbridge Town Common

Potential Funding Sources

The Town has managed to maintain a balanced budget to provide services for its residents. However, to be fiscally responsible, the Town must not spend unwisely, even for amenities that are important to the wellbeing of its citizens. Therefore, the Town will need to seek funding for many of the following actions.

Along with general funding allocations from the Town, additional sources that could be utilized for park and open space improvements include:

- **Commonwealth of Massachusetts (EOED, EOHLC, MassDevelopment)** Community One Stop for Growth (includes MassWorks)
- **MA Community Compact Cabinet (CCC)** Best Practices Compact
- **MA Department of Conservation and Recreation (DCR)** MassTrails Grant Program, Urban and Community Forestry Challenge
- **MA Division of Conservation Services (DCS)** Conservation Partnership Grant, Local Acquisitions of Natural Diversity Grant, Federal Land and Water Conservation Fund, DCS Parkland Acquisitions and Renovations for Communities Grant, Outdoor Recreation Legacy Partnership Grant Program, Drinking Water Supply Protection Grant Program
- **MA Department of Environmental Protection (DEP)** 604(b) Water Quality Management Planning, Water Utility Resilience Program, Clean Water State Revolving Fund
- **MA Division of Ecological Restoration (DER)** Streamflow Restoration Programs, Dam Removal Program, Urban River Revitalization Program, Wetlands Restoration Program, Culvert Replacement Municipal Assistance Grant Program
- **MA Department of Transportation (MassDOT)** Chapter 90 Program, Transportation Improvement Program, Complete Streets Program
- **MA Executive Office of Energy and Environmental Affairs (EEA)** Municipal Vulnerability Preparedness Program (MVP), Dam and Seawall Repair or Removal Program, Environmental Trust General Grant, EEA Planning Assistance Grant
- **MA Office on Disability (MOD)** Municipal ADA Improvement Grant
- **MA Office of Outdoor Recreation (MOOR)** Inclusive and Accessible Events Grants Program
- **National Fish and Wildlife Foundation (NFWF)** New England Forests and Rivers Fund
- **U.S. Department of Housing and Urban Development (HUD)** Community Development Block Grant Funding (CDBG)
- **U.S. Department of Transportation** Safe Streets and Roads for All (SS4A)
- **Community Preservation Act (CPA)** (if adopted)

The Town of Southbridge has not adopted the Community Preservation Act, which is a smart growth tool that enables communities to preserve open space and historic sites, create affordable housing, and develop outdoor recreational facilities. The CPA sets up a fund that is paid through a surcharge on local property taxes. Adoption of the CPA requires approval through a ballot referendum.

Ten-Year Schedule

The Town has found that most projects are not completed within short timeframes. Most of the actions listed for each goal have multi-year projections, and sometimes a pre-planning activity is followed by a one- or two-year break while funding is established.

Table 9-1: Ten-Year Action Plan

Goal 1: Conserve and protect surface water supply lands in the southwest quadrant of town.													
Actions	Priority	Responsible Party	Potential Funding Source	Timeframe									
				1	2	3	4	5	6	7	8	9	10
Add permanent protection of the Watershed Protection Overlay District under Article 97, either through Town Council vote or using conservation restrictions approved by the Executive Office of Energy and Environmental Affairs.	P1	TM, CC, WD	DCS, Town Budget		X	X							
Review the adequacy of the Watershed Protection Overlay District as established under the Zoning Bylaw, and amend the bylaw as needed to ensure continued protection of water supply lands.	P1	PB, WD	MassDEP, CCC, Town Budget	X		X							
Monitor adjacent uses in proximity to the Watershed Protection Overlay District to ensure adequate protection from potential sources of contamination. Keep the watershed area closed to public access.	P2	DPW, WD	MassDEP, EEA MVP, Town Budget	X		X		X		X		X	
Review the feasibility of acquiring additional watershed lands every three years. Pursue financing and acquisition opportunities to support long-term water resource protection.	P3	TM, DPW, WD	DCS, Town Budget		X			X				X	

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TOWN OF SOUTHBRIDGE, MA | OPEN SPACE AND RECREATION PLAN UPDATE

Identify and protect priority parcels along Cady Brook, Cohasse Brook Reservoir, and the Lebanon Brook Pond.	P3	TM, DPW, WD, CC	DCS, EEA MVP, MA DEP, Town Budget		X				X			X		
Goal 2: Improve & maintain existing recreational resources and facilities.														
Actions	Priority	Responsible Party	Potential Funding Source	Timeframe										
				1	2	3	4	5	6	7	8	9	10	
Develop a maintenance and improvement plan for existing fields, trails, and recreational facilities.	P1	RD	DCS, MOD, DCR, CDBG, Town Budget		X	X				X	X			X
Create an Open Space and Recreation Plan Committee to support the development, implementation, and updates to the OSRP. Include members from the Southbridge Trails Committee.	P1	TM, RD, STC	N/A		X	X	X							
Increase participation in the “Adopt-a-Park” program.	P1	TM, RD	Town Budget		X	X	X							
Enhance safety at recreational facilities through security measures including, but not limited to, security cameras and improved lighting.	P1	TM, RD, SPD	DCS, CDBG, MOD, Town Budget		X	X	X	X	X	X	X	X	X	
Promote existing parks, recreational facilities, trails, and other recreation resources through outreach to schools, email lists, flyers, signage, maps, and events to increase public awareness and usage.	P2	RD, SD, STC	DCR, MOOR, CDBG, Town Budget	X	X									
Improve and standardize signage and maps of Town trails, parks, and recreation facilities. Update every two years.	P2	RD, STC	DCR MassTrails, DCS, CDBG	X		X		X		X		X		

Goal 3: Protect and preserve key natural resource areas, including NHESP Natural Communities, BioMap Core Habitat and Natural Landscapes, wetlands, floodplains, buffer zones, conservation corridors, farmland and prime farmland soils, and scenic or historical assets from future development.

Actions	Priority	Responsible Party	Potential Funding Source	Timeframe									
				1	2	3	4	5	6	7	8	9	10
Identify & prioritize BioMap areas for preservation and increase public awareness of these natural resource areas.	P1	OSRC (to be established)	DCS, MOOR		X		X		X		X		
Amend the Zoning Bylaw to encourage conservation, smart growth development, agriculture; include priority economic development sites as identified in the Urban Renewal Plan.	P1	PB, ED&P	EOHED, CDBG, CCC		X	X	X	X					
Seek certification for NHESP potential vernal pools.	P2	CC, Volunteers	DCS, DER, EEA	X	X	X	X	X	X	X	X	X	X
Conserve and protect natural resources and open space areas using conservation restrictions.	P2	CC	DCS, NFWF	X	X	X	X	X	X	X	X	X	X
Explore the implementation of a Transfer of Development Rights (TDR) program to conserve open space and environmentally sensitive areas while guiding development towards more appropriate locations.	P3	CC, PB	EEA, CCC, CPA (if adopted)		X		X		X		X		X
Identify and implement incentives to support farming and preserve farmland; adopt a local Right to Farm Bylaw.	P2	SAC	EEA, CPA (if adopted)		X								X

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TOWN OF SOUTHBRIDGE, MA | OPEN SPACE AND RECREATION PLAN UPDATE

Integrate environmental education and programming into the Southbridge Public Schools curriculum.	P2	SD, CC	School Dept, EEA, MOOR			X	X	X					
Implement a tree planting and maintenance program.	P3	DPW	DCR, EEA MVP						X	X	X		
Host educational seminars and programs for all age groups focused on the preservation of scenic landscapes, historic sites, farmland, and critical wildlife habitats	P3	ED&P	MOOR, EEA		X			X				X	

Goal 4: Link existing & potential trails & recreational resources.

Actions	Priority	Responsible Party	Potential Funding Source	Timeframe										
				1	2	3	4	5	6	7	8	9	10	
Implement a riverside walkway and trailheads that connect the QVRT, the Downtown, Globe Village at West Street, the Heritage Trail, the Westville Recreation Area and associated trails.	P1	RD, ED&P, DPW, STC	DCR MassTrails, DCS	X	X	X	X	X						
Improve the surface condition of the Quinebaug Valley Rail Trail section with stabilized soil material from the Dudley town border to the Route 131 intersection at Sandersdale Road and with paved asphalt surface in the downtown area.	P1	ED&P, RD, DPW, STC	DCR MassTrails, DCS	X	X	X								

Implement a multi-modal transportation system that integrates with existing sidewalks, trails, and recreational resources, providing safe, accessible connections throughout the town, alongside safety upgrades identified in the Complete Streets Project Prioritization Plan, Road Safety Audits, and a Safe Streets for All (SS4A) Action Plan.	P2	ED&P, RD, DPW	MassDOT, SS4A, CDBG	X	X								
Create an ADA accessible path from the West Street Recreation Area parking lot to the ADA compliant Heritage Nature Trail.	P3	ED&P, RD, DPW, OSPC (to be established)	MOD, DCR MassTrails, DCS	X	X	X							
Identify opportunities to improve access to the Quinebaug River through new parks, trails, and links while promoting economic development through mill re-use increasing access to the Quinebaug River.	P3	ED&P, RD, DPW, OSPC (to be established)	DCR MassTrails, DCS PARC, EOHED, CDBG	X	X	X	X	X	X	X	X	X	X
Facilitate river-based recreation along the Quinebaug River, near Hamilton Street, to promote economic development, improve environmental conditions through management of vegetation and cleanup efforts, and expand public access opportunities.	P3	ED&P, RD, DPW, OSPC (to be established)	DCR MassTrails, DER, EEA MVP, CDBG, DCS PARC, CPA (if adopted)			X	X	X	X	X	X		
Acquire parcels through easements to create an extensive network of trails and recreation areas, including at the American Optical Site.	P2	CC, RD	DCR MassTrails, DCS, CDBG		X			X			X		
Create a pedestrian bridge over East Main Street to link to the QVRT.	P3	ED&P, RD, DPW	MassDOT, SS4A, DCR MassTrails				X	X					

Goal 5: Expand and enhance existing recreational resources, green spaces, & open space.													
Actions	Priority	Responsible Party	Potential Funding Source	Timeframe									
				1	2	3	4	5	6	7	8	9	10
Identify opportunities to create pocket parks, green spaces, and small play areas.	P2	ED&P, RD, TM	CDBG, DCR Grants			X	X	X	X	X	X		
Continue to plan for future active and passive recreation and open space needs, beyond 10 years.	P3	ED&P, DPW, RD, TM	CDBG	X	X	X	X	X	X	X	X	X	X
Identify opportunities for desired recreational uses such as pickleball courts, splash pads, additional playgrounds, and tennis courts.	P3	RD	DCS, CDBG, MOD			X			X			X	
Evaluate brownfield and industrial sites adjacent to the riverfront area for future open space and recreation use.	P2	RD, CC	EEA, CDBG, EOHED,		X	X	X						
Redesign the Morris Street playground and fields to support a wider range of recreational uses.	P1	RD	DCS PARC, CDBG			X	X						
Create safer/wider sidewalks at Morris Street near the playground.	P1	DPW	MassDOT, MOD			X	X						
Convert the smaller field at the West Street Recreation Area into a community dog park.	P2	RD	DCS PARC, CDBG				X	X					
Install parkour equipment along the walking trail, replace/renovate the volleyball area, and expand recreational uses at Joe Capillo Park.	P1	RD	DCS PARC, CDBG, MOD			X	X						

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TOWN OF SOUTHBRIDGE, MA | OPEN SPACE AND RECREATION PLAN UPDATE

Enhance recreational areas by implementing shade structures, benches, picnic areas, and informational signage throughout all parks, including the West Street Recreation Area.	P1	RD	DCS PARC, CDBG, MOOR, DCR				X	X					
Upgrade ADA paths within the Henry Street Playground and Joe Capillo Park.	P1	RD	DCS PARC, CDBG, MOD		X	X							
Enhance recreational use and programming at the Town Commons (e.g., Food Truck Night).	P1	RD	MOOR, Town Budget		X	X							
Install restroom facilities at high-use recreational areas.	P2	DPW	DCS PARC, CDBG, MOD			X	X						
Create a welcoming entrance into Southbridge from Sturbridge by installing native plants.	P2	RD	MA DCR, CDBG, Town Budget			X	X						

Goal 6: Enhance climate resiliency in open spaces to better adapt to climate change.

Actions	Priority	Responsible Party	Potential Funding Source	Timeframe										
				1	2	3	4	5	6	7	8	9	10	
Expand and protect the tree canopy along Main Street, Route 169, and at existing parks and recreational areas to reduce the urban heat island effect.	P2	DPW	DCR, EEA MVP, CDBG		X	X	X	X	X	X	X	X	X	
Implement stormwater mitigation strategies such as green infrastructure to reduce flooding and erosion from runoff at existing parks and recreation areas.	P1	CC, DPW	EEA MVP, MA DEP		X		X		X		X			
Manage invasive species along Southbridge’s water bodies and within existing parks.	P2	CC	DER, EEA MVP, Town Budget			X	X							

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TOWN OF SOUTHBRIDGE, MA | OPEN SPACE AND RECREATION PLAN UPDATE

Implement erosion controls at existing parks and recreation areas including the riverfront area between Hamilton and Crane Street.	P1	CC, DPW	EEA MVP, DER, MA DEP			X	X	X					
Implement recommendations from the town's Municipal Vulnerability Preparedness Report and Hazard Mitigation Plan	P1	CC	EEA MVP, MA DEP	X	X	X	X	X	X	X	X	X	

Goal 7: Enhance and expand recreational opportunities for all ages at the Casaubon Community Center.

Actions	Priority	Responsible Party	Potential Funding Source	Timeframe									
				1	2	3	4	5	6	7	8	9	10
Complete ADA improvements, upgrades to HVAC, heating and cooling systems, signage, and lighting.	P2	RD, DPW	CDBG, MOD				X	X	X	X			
Better delineate recreational uses indoors, including an indoor walking track.	P2	RD	CDBG, CPA (if adopted)				X	X	X	X			
Create multi-purpose outdoor space for activities and groups, including a community garden.	P2	RD	CDBG				X	X	X	X			
Improve acoustics in the gymnasium.	P2	RD	CDBG, CPA (if adopted)				X	X					
Consider additional recreation and programming opportunities such as roller blading, laser tag, and a function hall.	P2	RD	DCS, CDBG, CPA (if adopted)				X	X	X	X			

8. Public Comments

Placeholder

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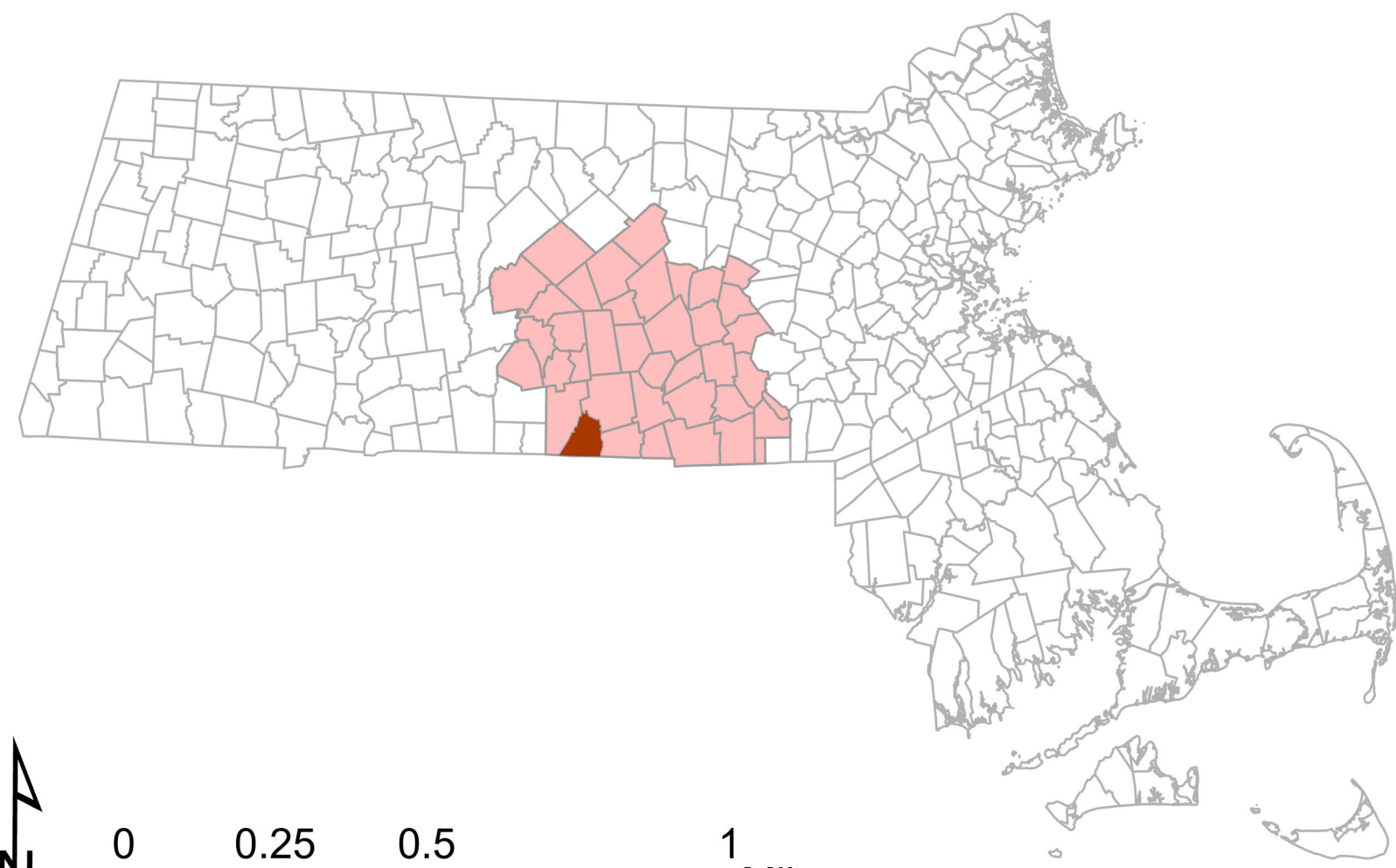
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Appendix A: Maps

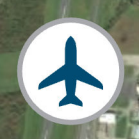
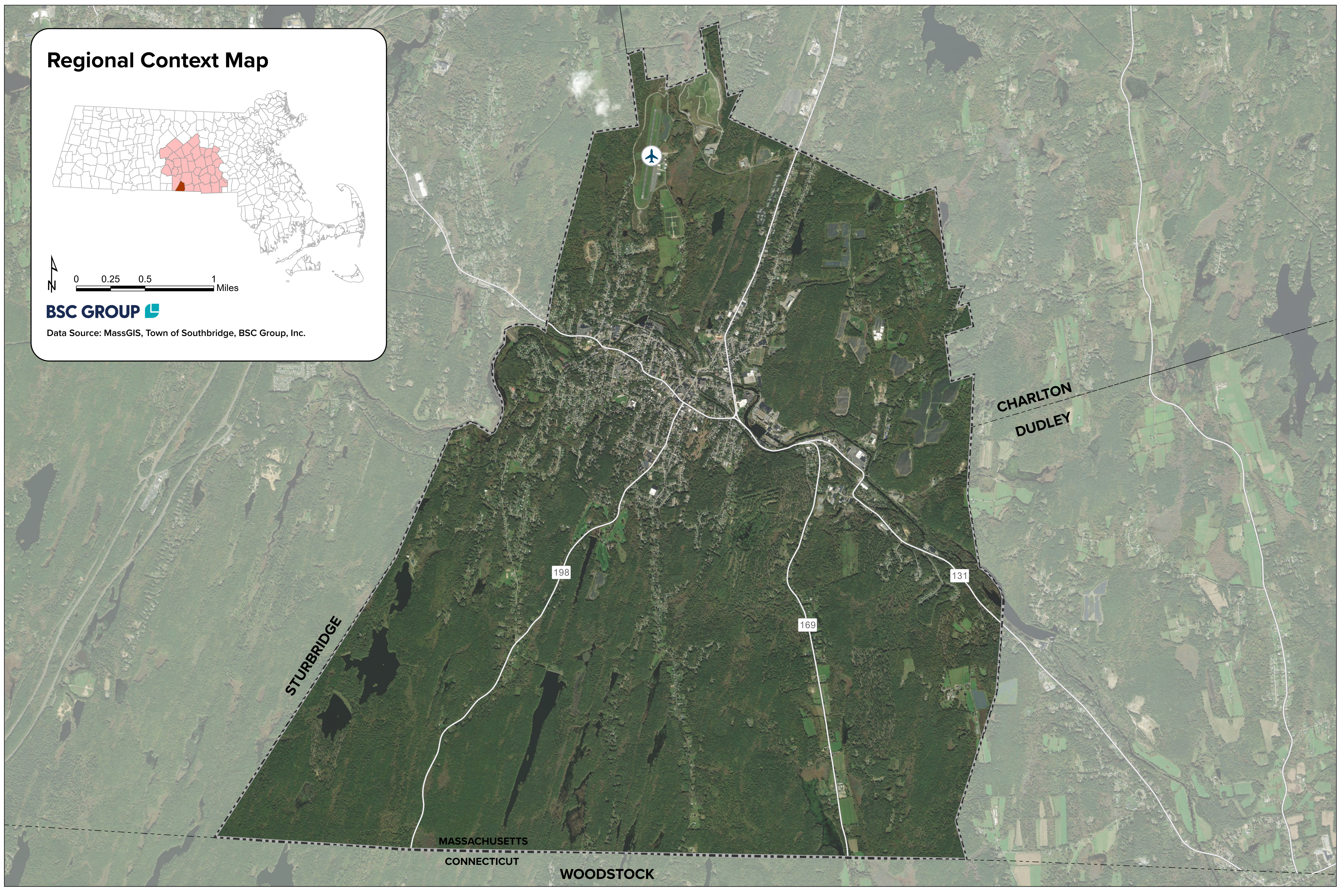
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Regional Context Map



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Data Source: MassGIS, Town of Southbridge, BSC Group, Inc.



STURBRIDGE

CHARLTON
DUDLEY

MASSACHUSETTS
CONNECTICUT

WOODSTOCK

198

169

131

Environmental Justice Map

Legend

Environmental Justice Populations

Minority

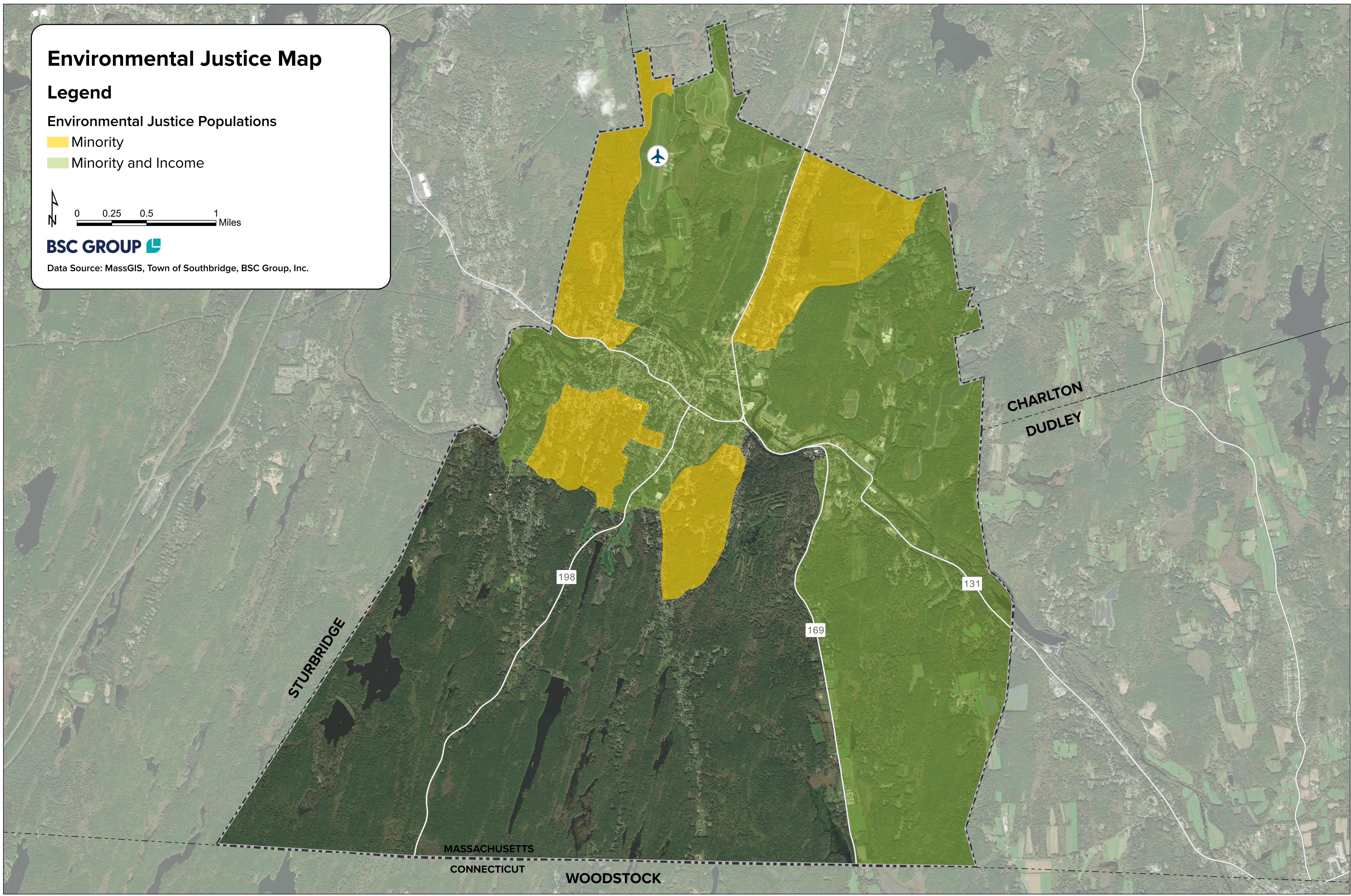
Minority and Income



0 0.25 0.5 1 Miles



Data Source: MassGIS, Town of Southbridge, BSC Group, Inc.



Zoning Map

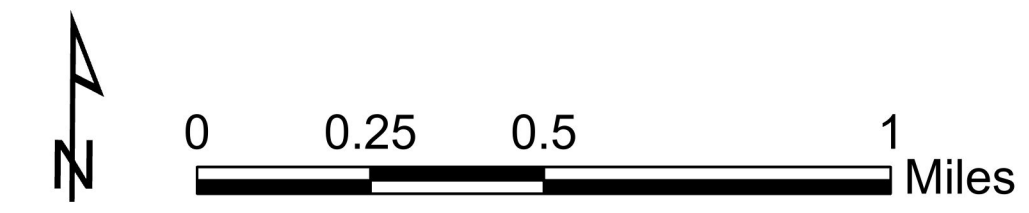
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Zoning Districts

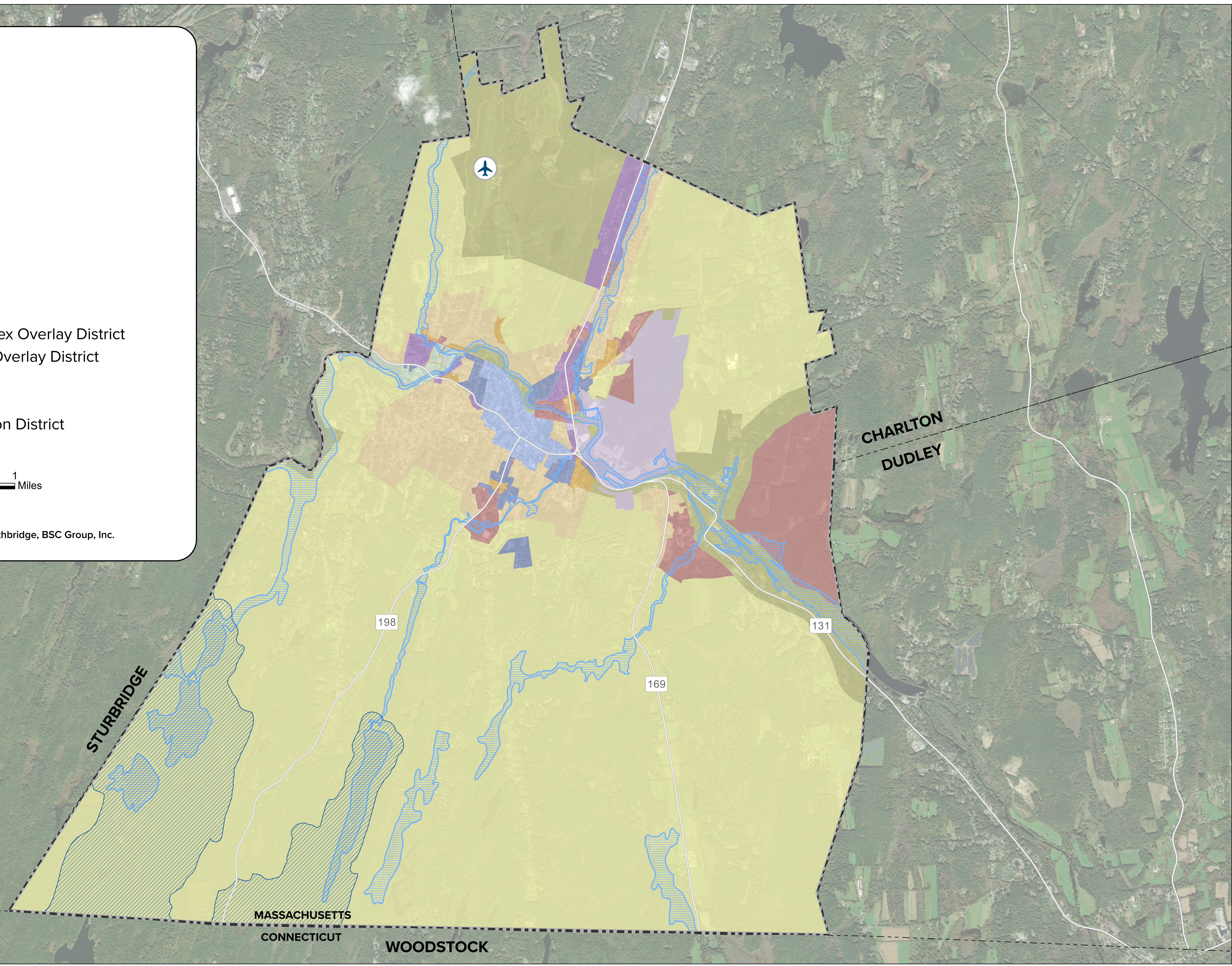
- Manufacturing
- Office Research
- Retail Business
- General Business
- Central Core
- Residential 1
- Residential 2
- Residential 3
- American Optical Flex Overlay District
- Globe Village Flex Overlay District

Overlay Districts

- Flood Plain District
- Watershed Protection District



Data Source: MassGIS, Town of Southbridge, BSC Group, Inc.



Soil Types Map

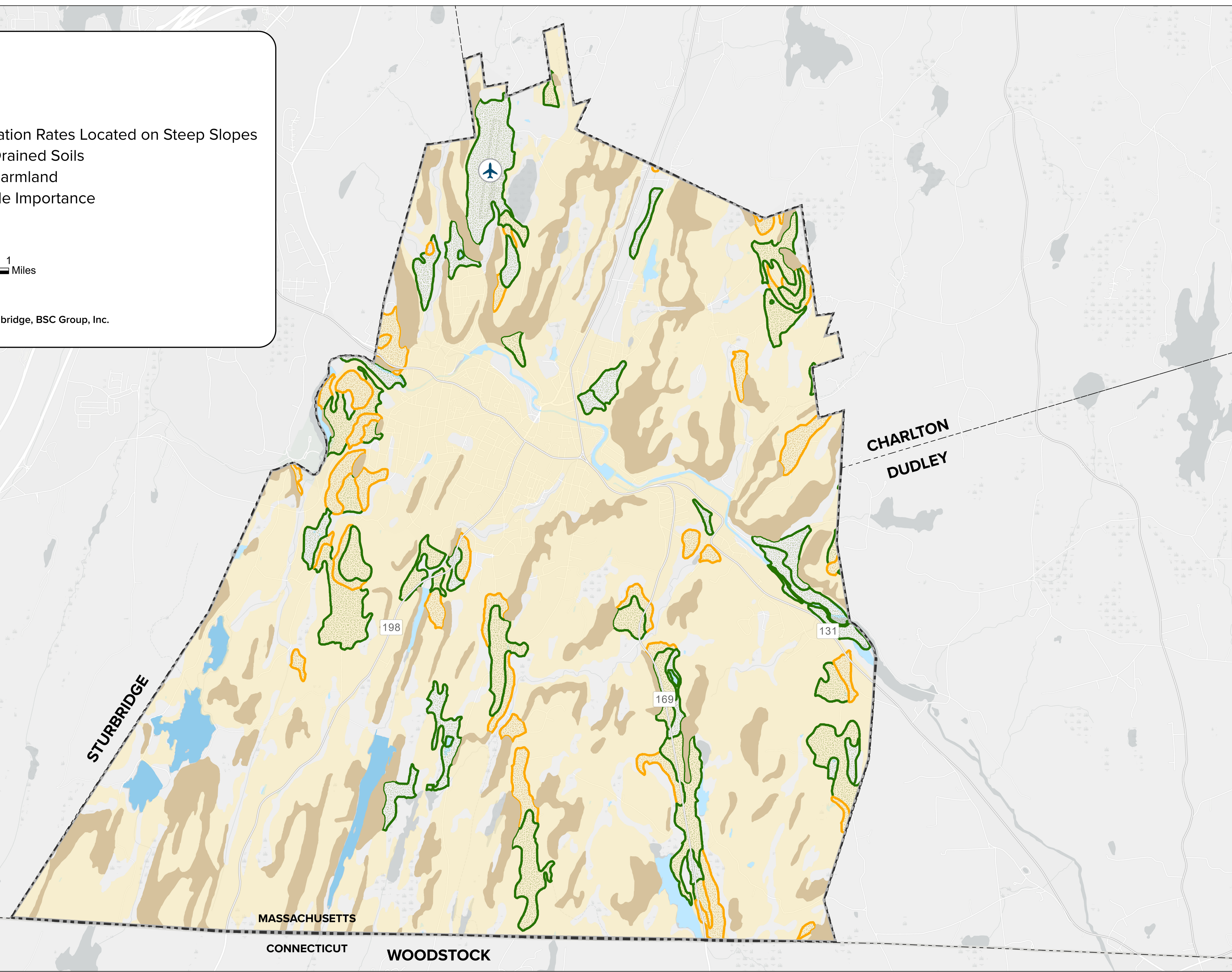
Legend

- Soils with Slow Infiltration Rates Located on Steep Slopes
- Excessively or Well Drained Soils
- All Areas are Prime Farmland
- Farmland of Statewide Importance



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Data Source: MassGIS, Town of Southbridge, BSC Group, Inc.






Water Resources & Protection Map

Legend



Public Water Supply and Wellhead Protection Areas

-  Surface Water Intake
-  Non-Community Groundwater Source
-  Wellhead Protection Areas
-  Interim Wellhead Protection Areas

Surface Water Supply Protection Areas

-  Zone A
-  Zone B
-  Zone C

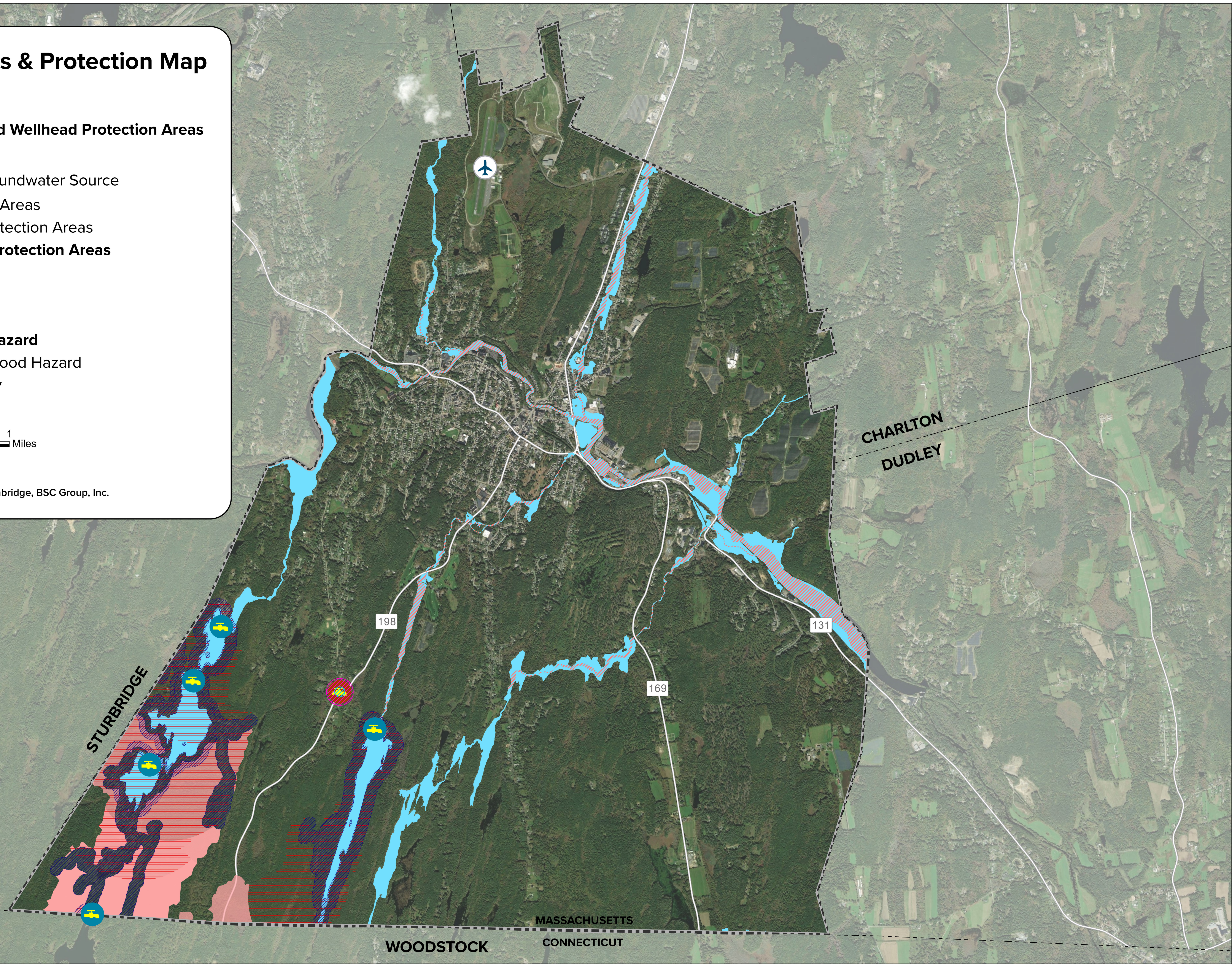
FEMA National Flood Hazard

-  1% Annual Chance Flood Hazard
-  Regulatory Floodway



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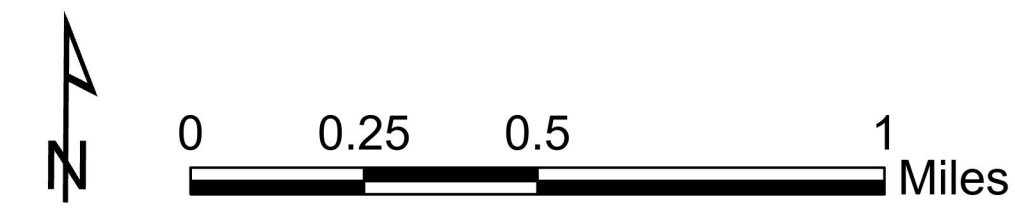
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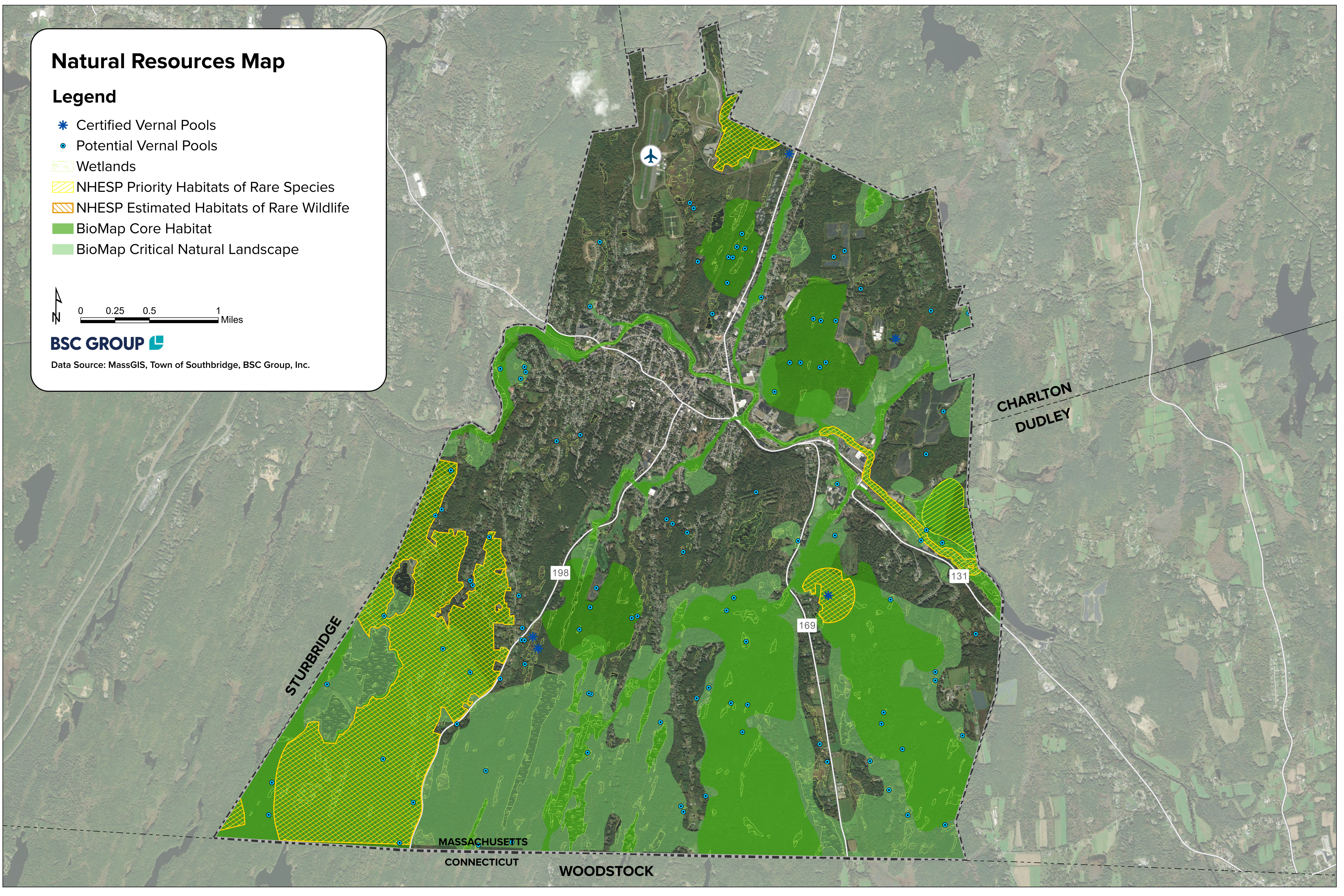
Natural Resources Map

Legend

- * Certified Vernal Pools
- Potential Vernal Pools
- Wetlands
- NHESP Priority Habitats of Rare Species
- NHESP Estimated Habitats of Rare Wildlife
- BioMap Core Habitat
- BioMap Critical Natural Landscape



Data Source: MassGIS, Town of Southbridge, BSC Group, Inc.



STURBRIDGE

CHARLTON
DUDLEY

MASSACHUSETTS

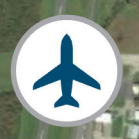
CONNECTICUT

WOODSTOCK

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Historic Resources Map

Legend

MassHistoric Commission Inventory of Points

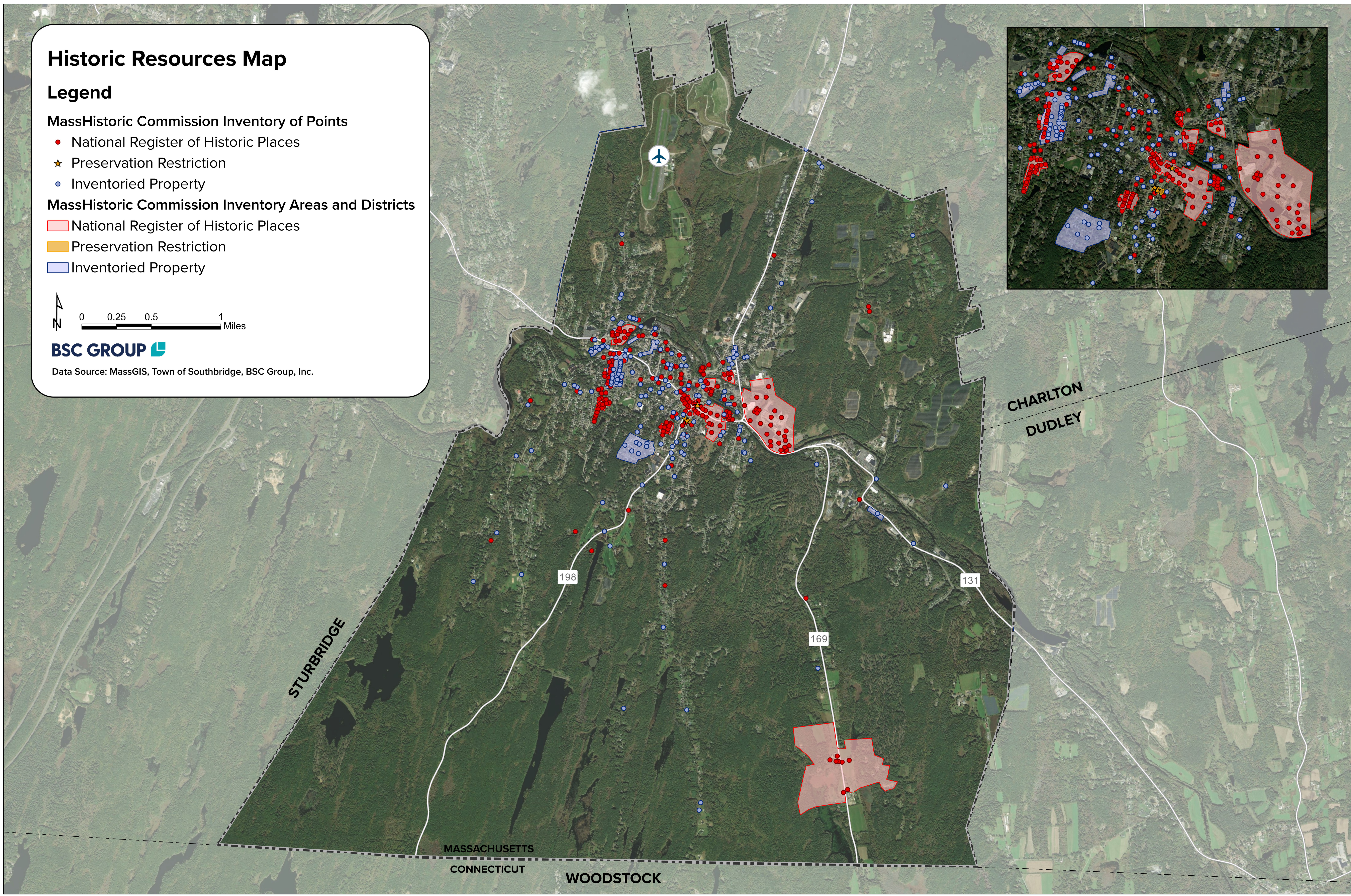
- National Register of Historic Places
- ★ Preservation Restriction
- Inventoried Property

MassHistoric Commission Inventory Areas and Districts

- National Register of Historic Places
- Preservation Restriction
- Inventoried Property



Data Source: MassGIS, Town of Southbridge, BSC Group, Inc.



STURBRIDGE

CHARLTON
DUDLEY

MASSACHUSETTS
CONNECTICUT

WOODSTOCK

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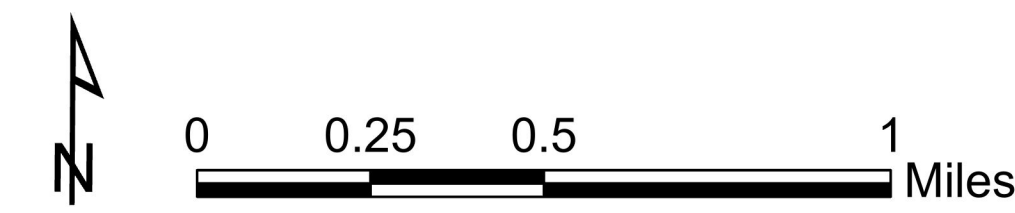
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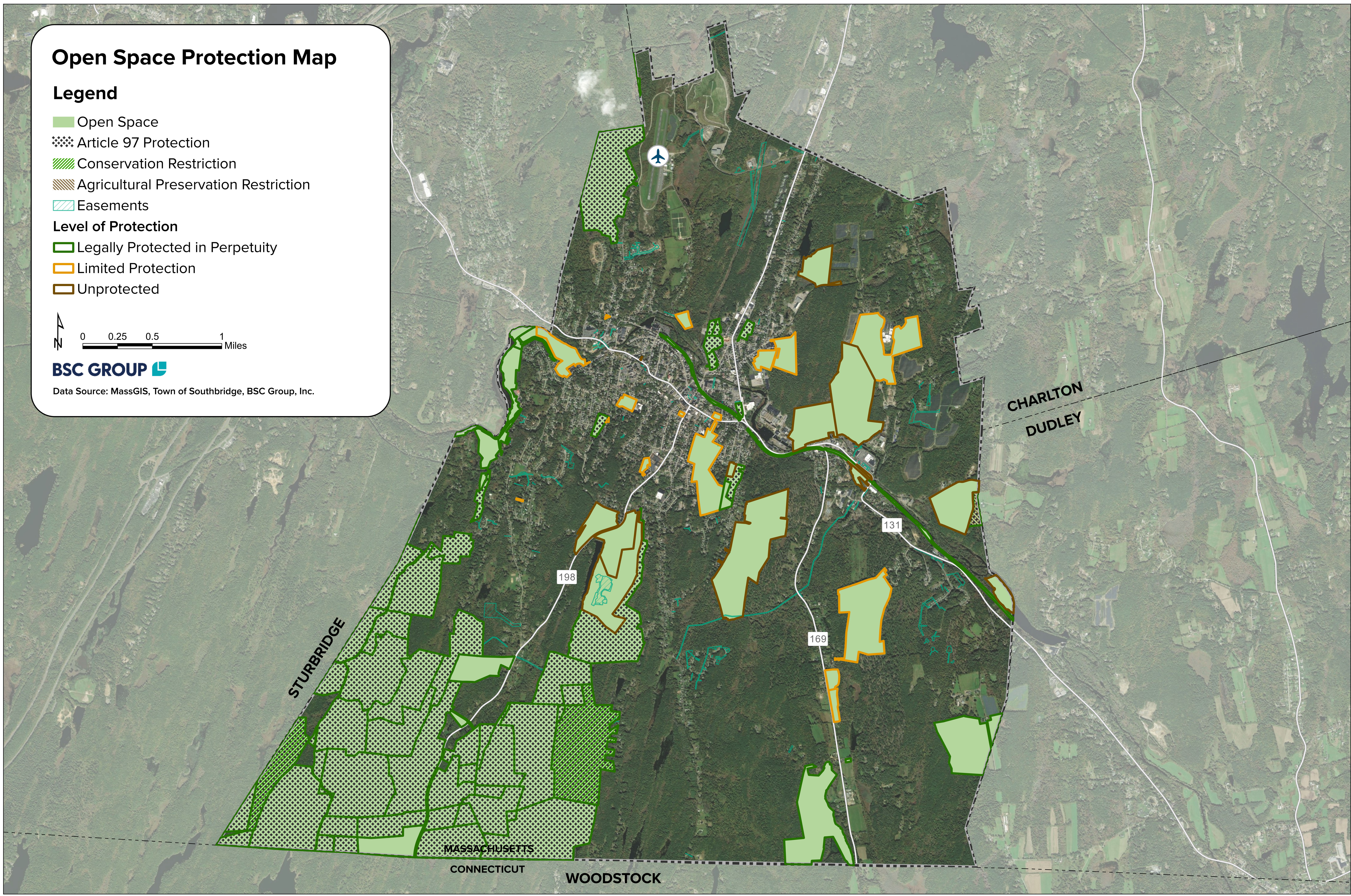
Open Space Protection Map

Legend

- Open Space
- Article 97 Protection
- Conservation Restriction
- Agricultural Preservation Restriction
- Easements
- Level of Protection
 - Legally Protected in Perpetuity
 - Limited Protection
 - Unprotected








Data Source: MassGIS, Town of Southbridge, BSC Group, Inc.






Unique Features Map

Legend

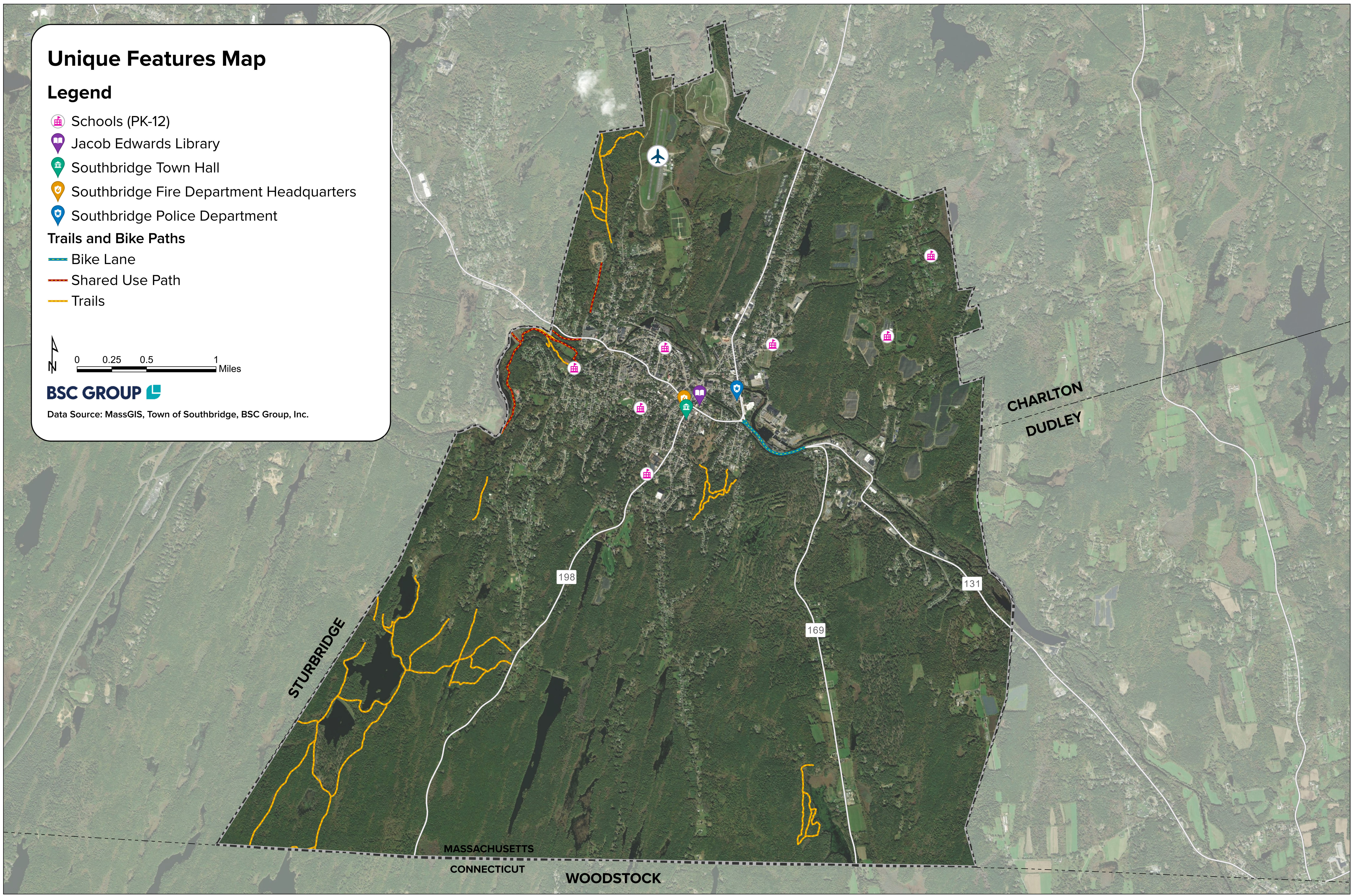
-  Schools (PK-12)
-  Jacob Edwards Library
-  Southbridge Town Hall
-  Southbridge Fire Department Headquarters
-  Southbridge Police Department

Trails and Bike Paths

-  Bike Lane
-  Shared Use Path
-  Trails




Data Source: MassGIS, Town of Southbridge, BSC Group, Inc.



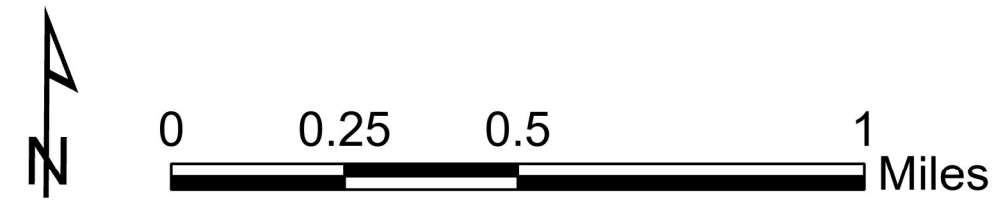
Park Equity Map

Legend

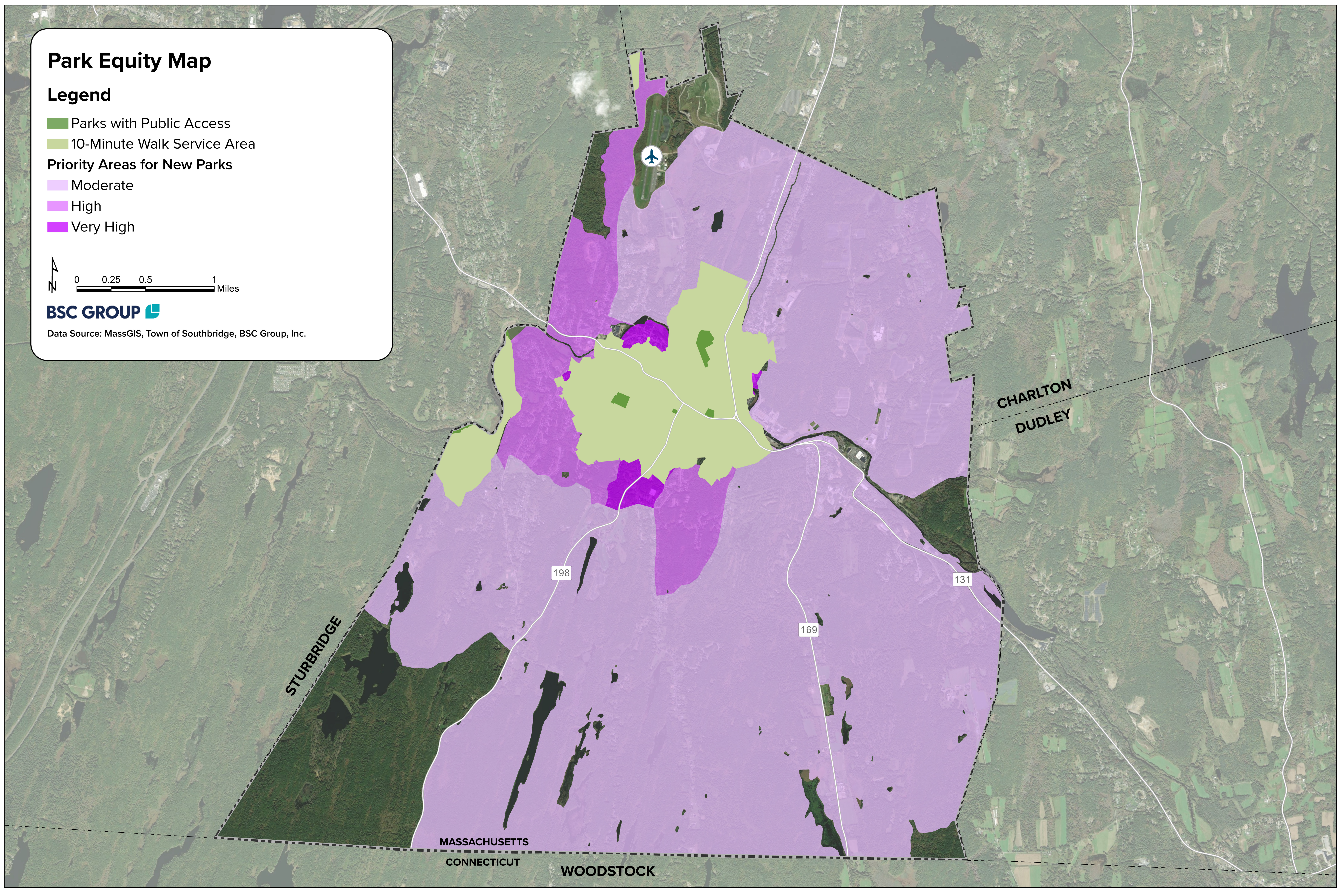
-  Parks with Public Access
-  10-Minute Walk Service Area

Priority Areas for New Parks

-  Moderate
-  High
-  Very High



Data Source: MassGIS, Town of Southbridge, BSC Group, Inc.



Appendix B: Survey Results

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Southbridge OSRP Survey Results



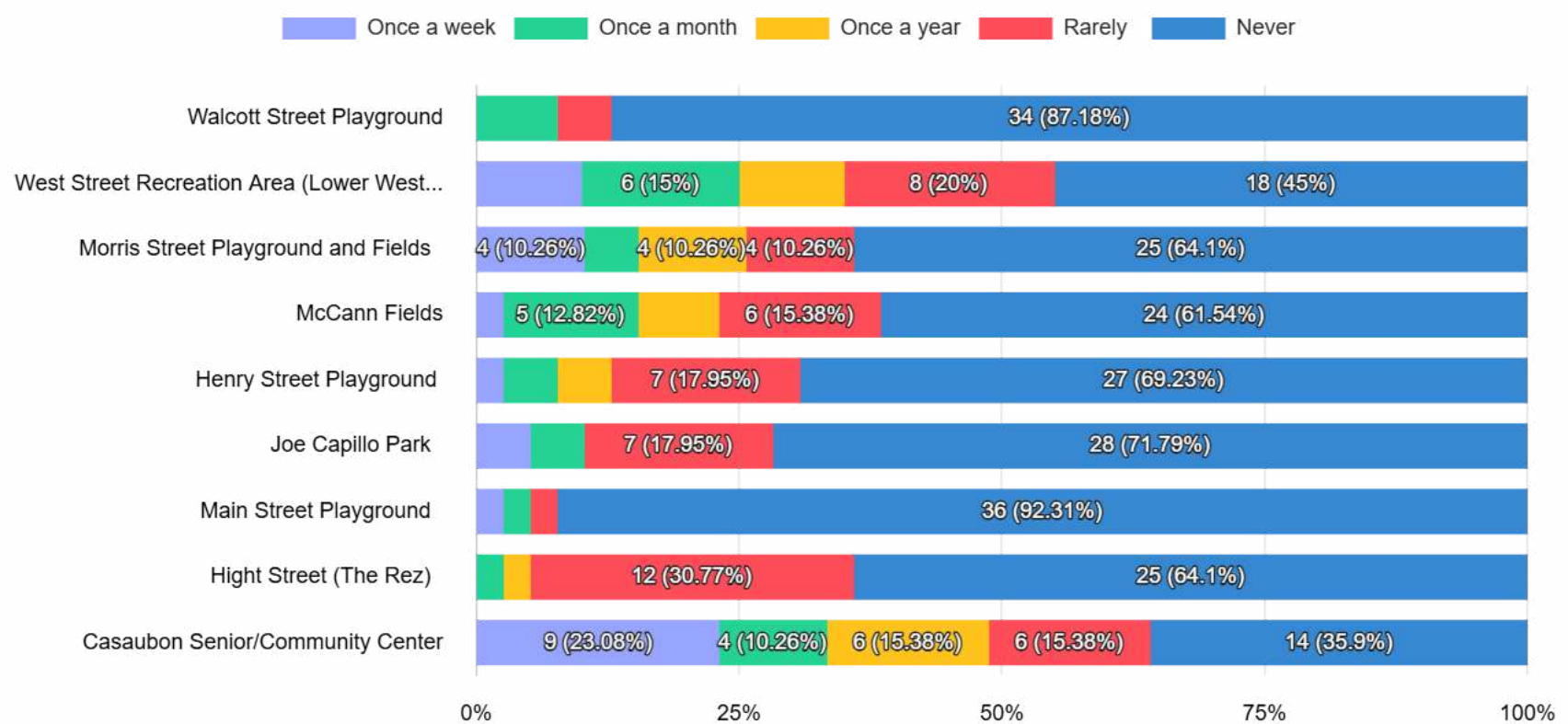
Southbridge Open Space and Recreation Plan Update Survey

Total submissions:
39

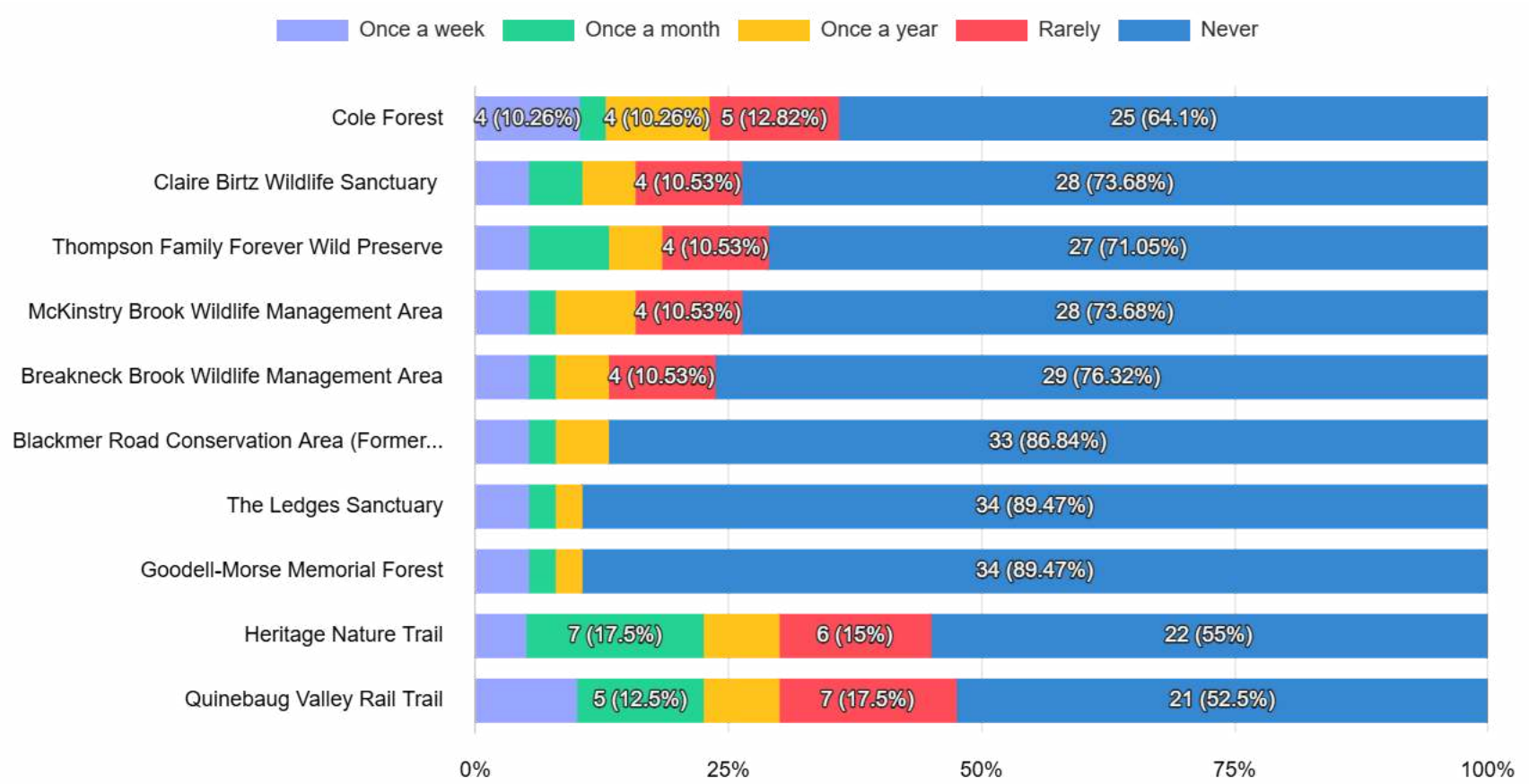
Date range: **Jan 15, 2025-Feb 24, 2025**

Total responses: **2023**

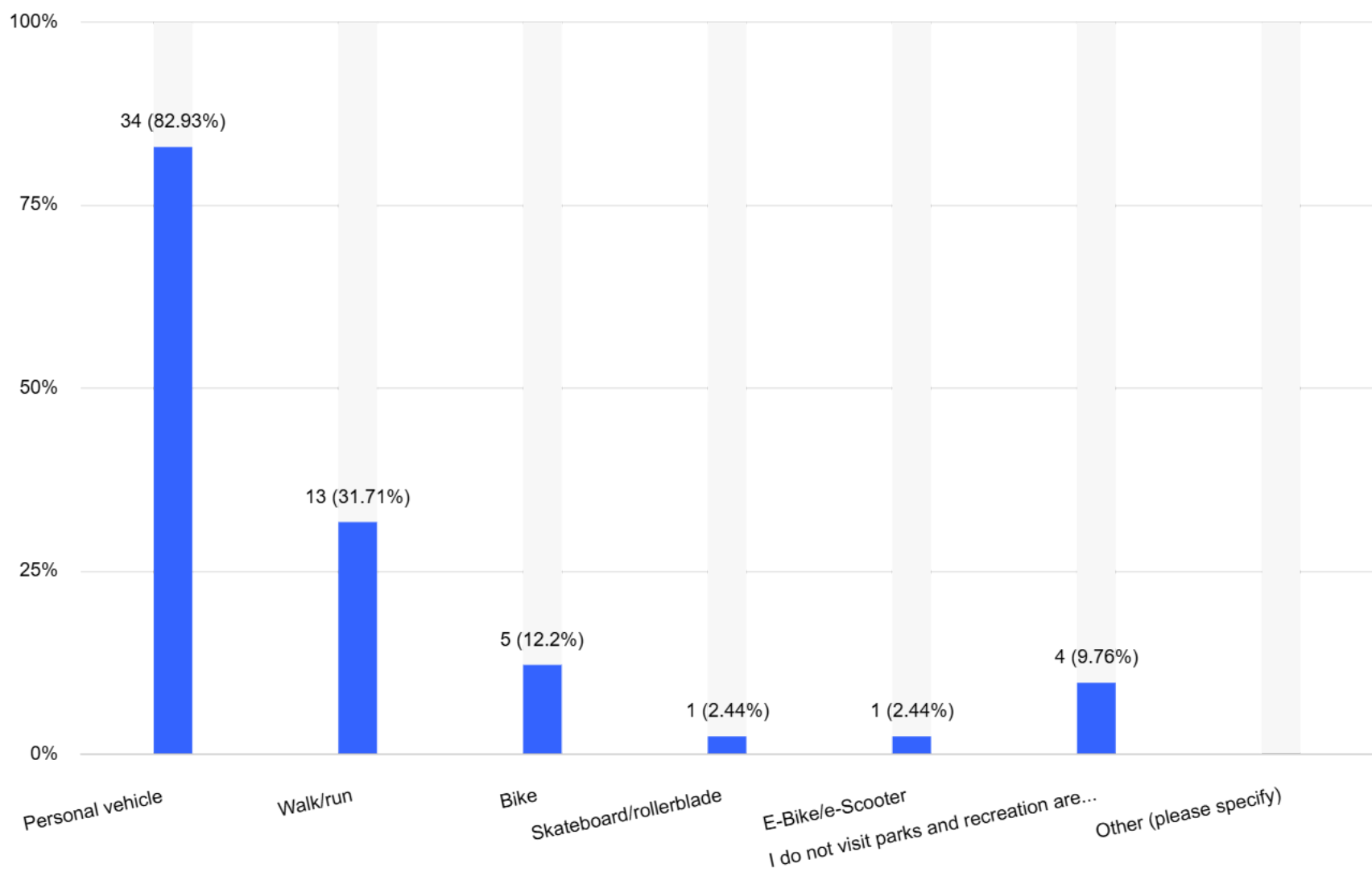
1. How often do you visit the following parks and recreational facilities in Southbridge? Please select the frequency for each location:



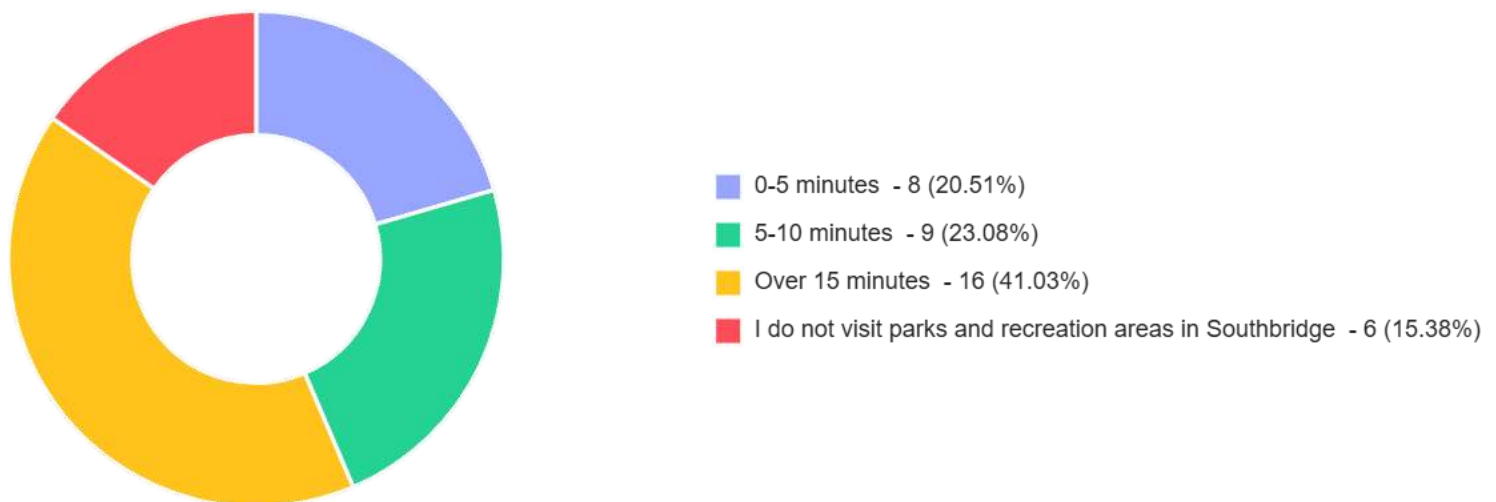
2. How often do you visit the following conservation areas in Southbridge? Please select the frequency for each location:



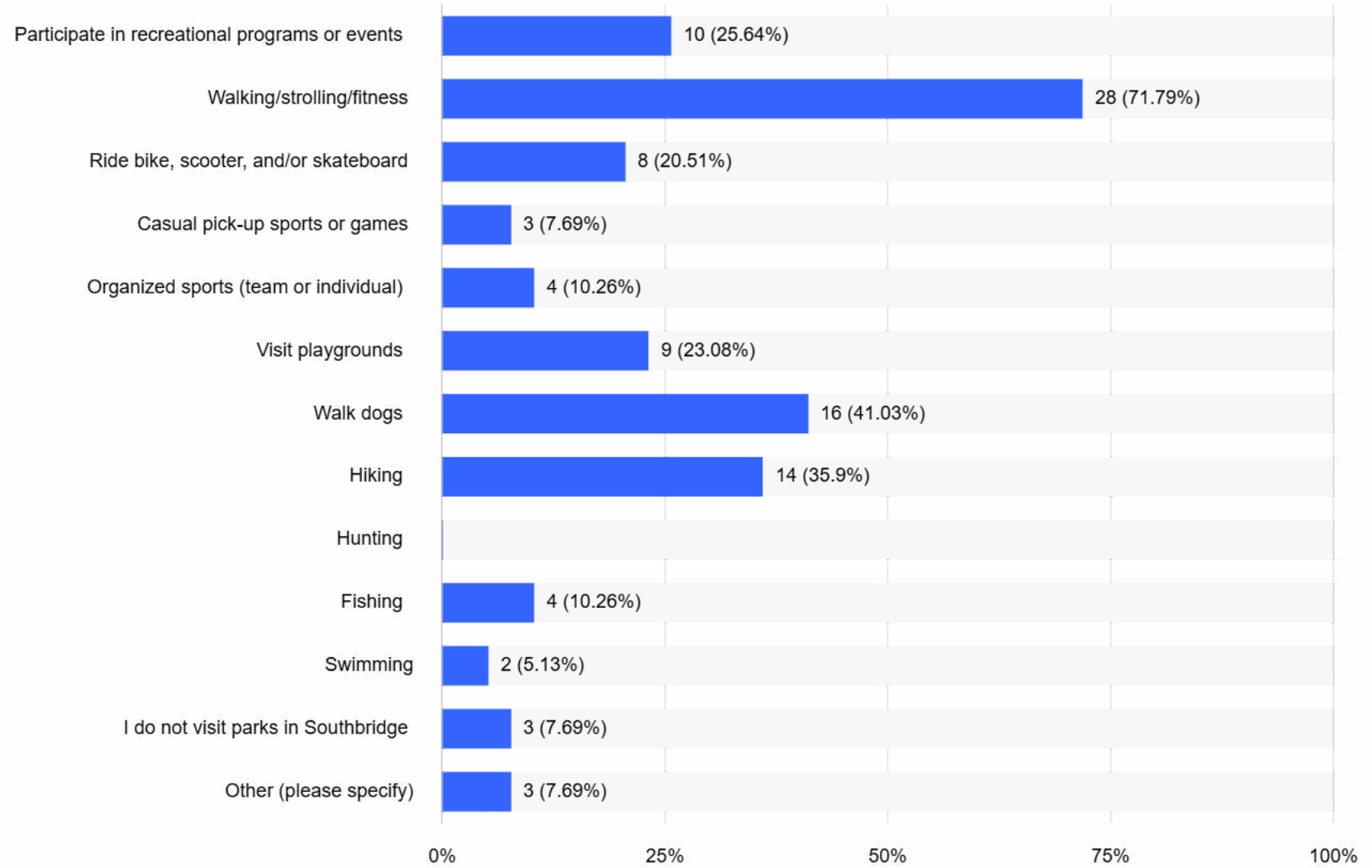
3. How do you typically travel to parks and recreation facilities in Southbridge? (Select all that apply).



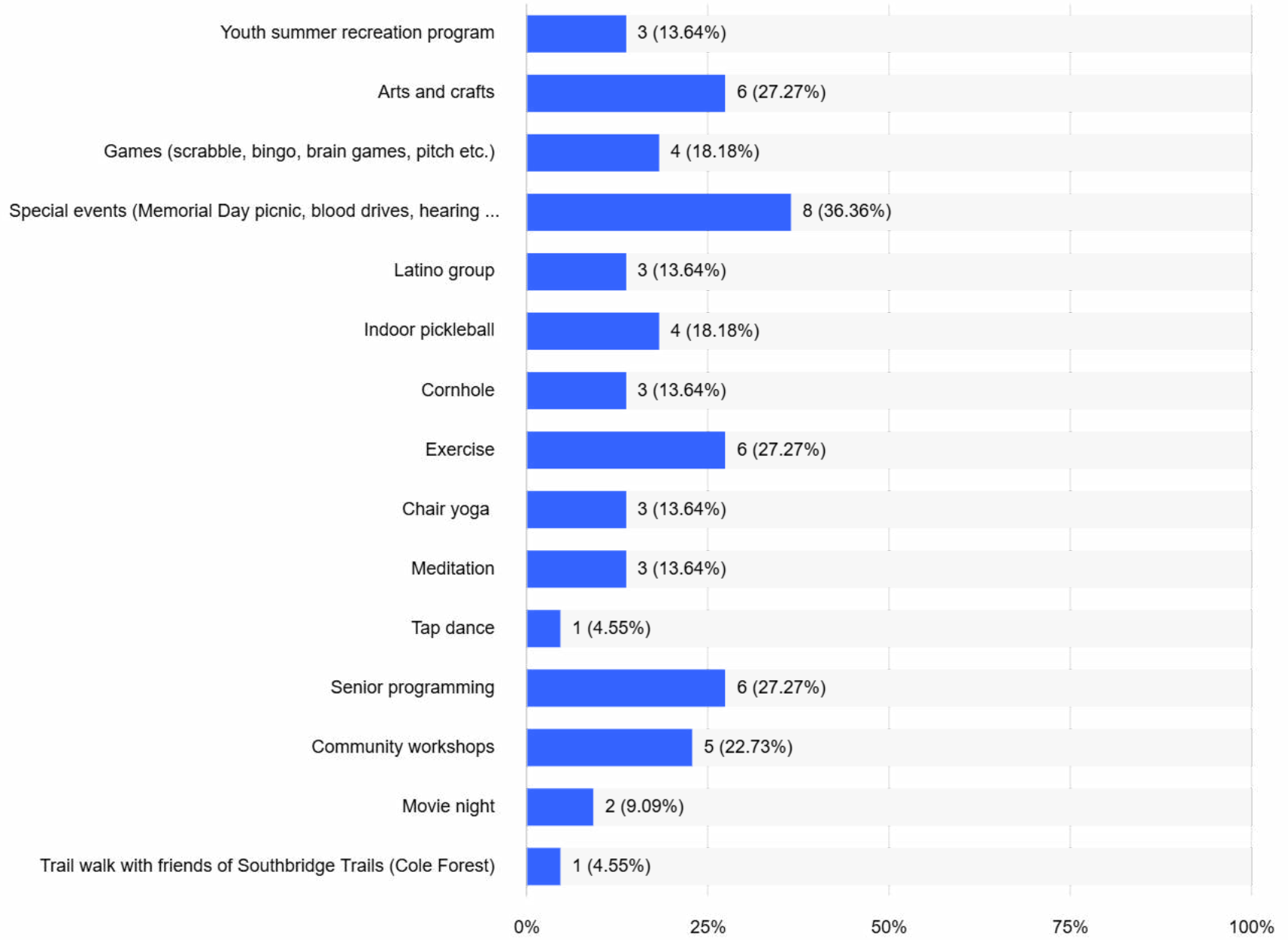
4. On average, how long does it take you to walk to the park or recreation facility located nearest to you in Southbridge?



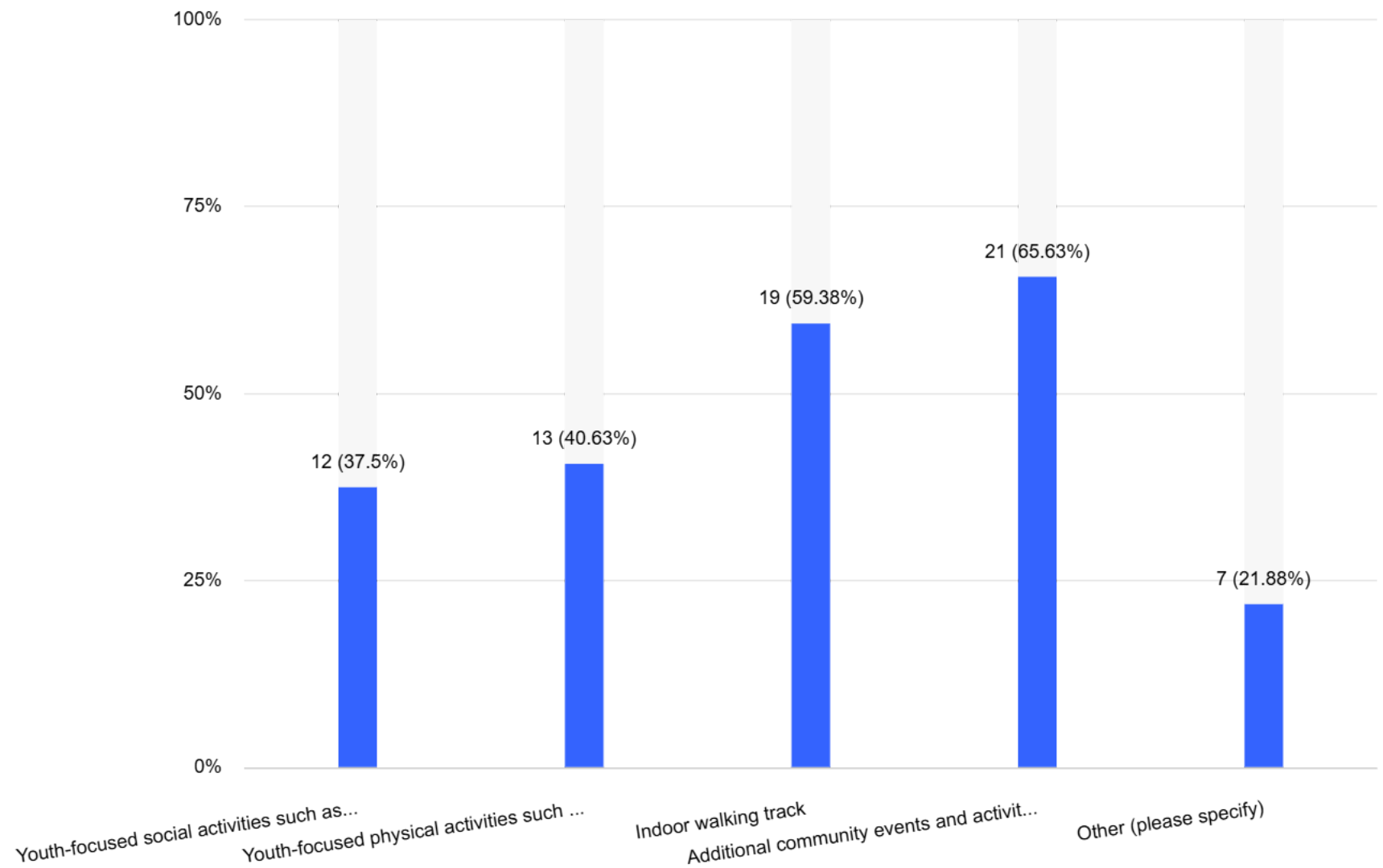
5. What activities do you participate in when visiting parks and recreation facilities in Southbridge? (Select all that apply).



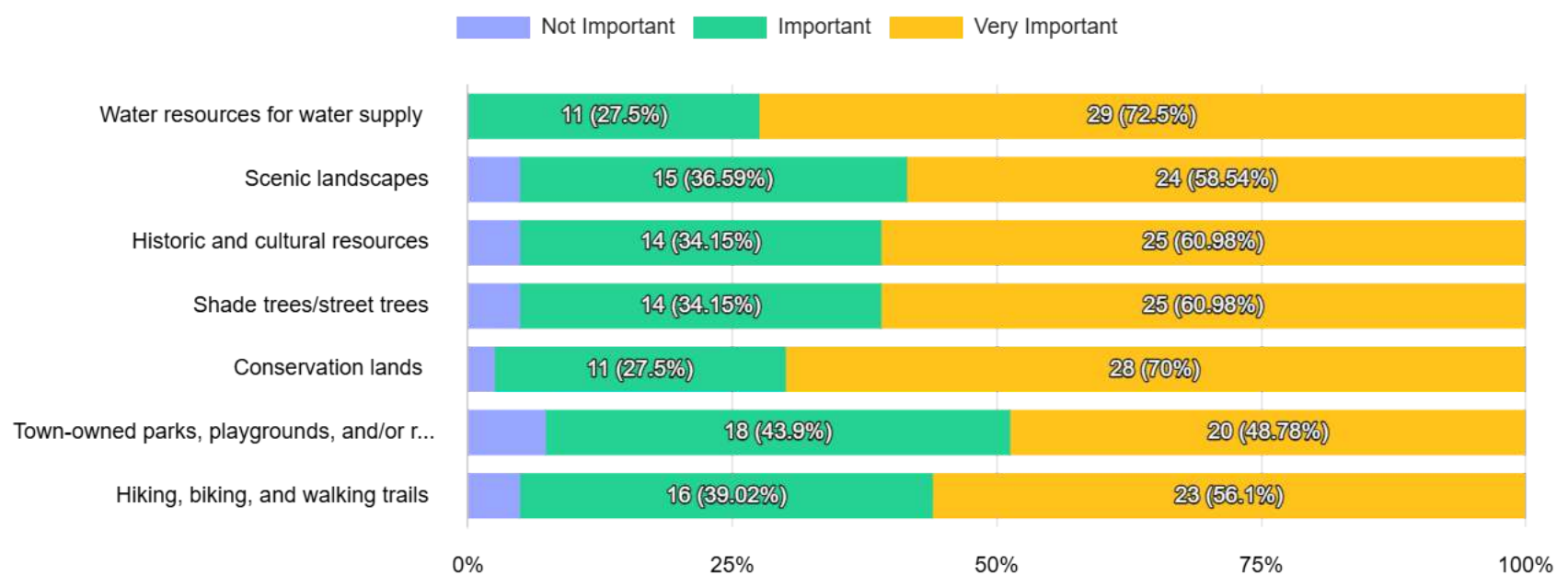
6. Which of the following recreational activities do you regularly participate in at the Casaubon Senior/Community Center (Select all that apply).



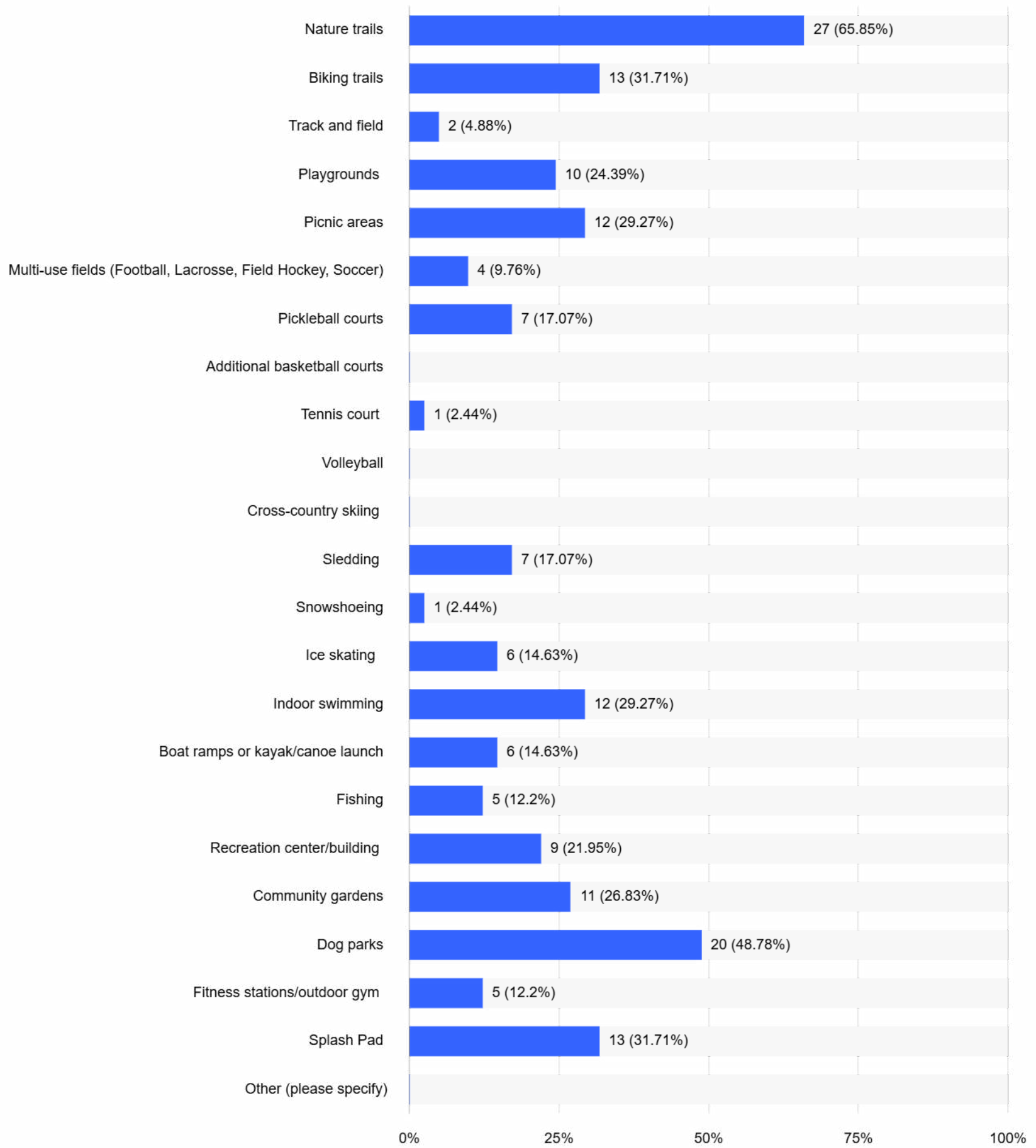
7. What additional recreational activities would you like to see offered at the Casaubon Senior/Community Center (Select all that apply).



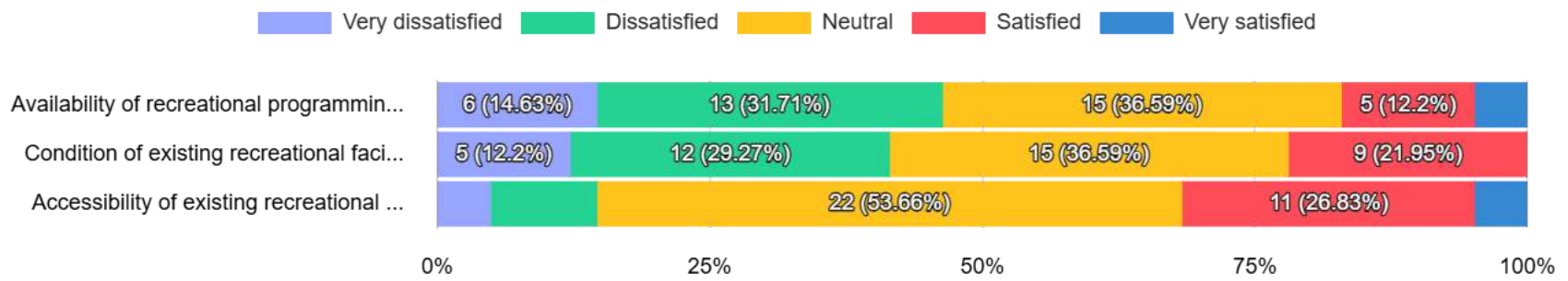
8. How important is it to you to preserve and protect the following in Southbridge? Please rate each item from "Not Important" to "Very Important":



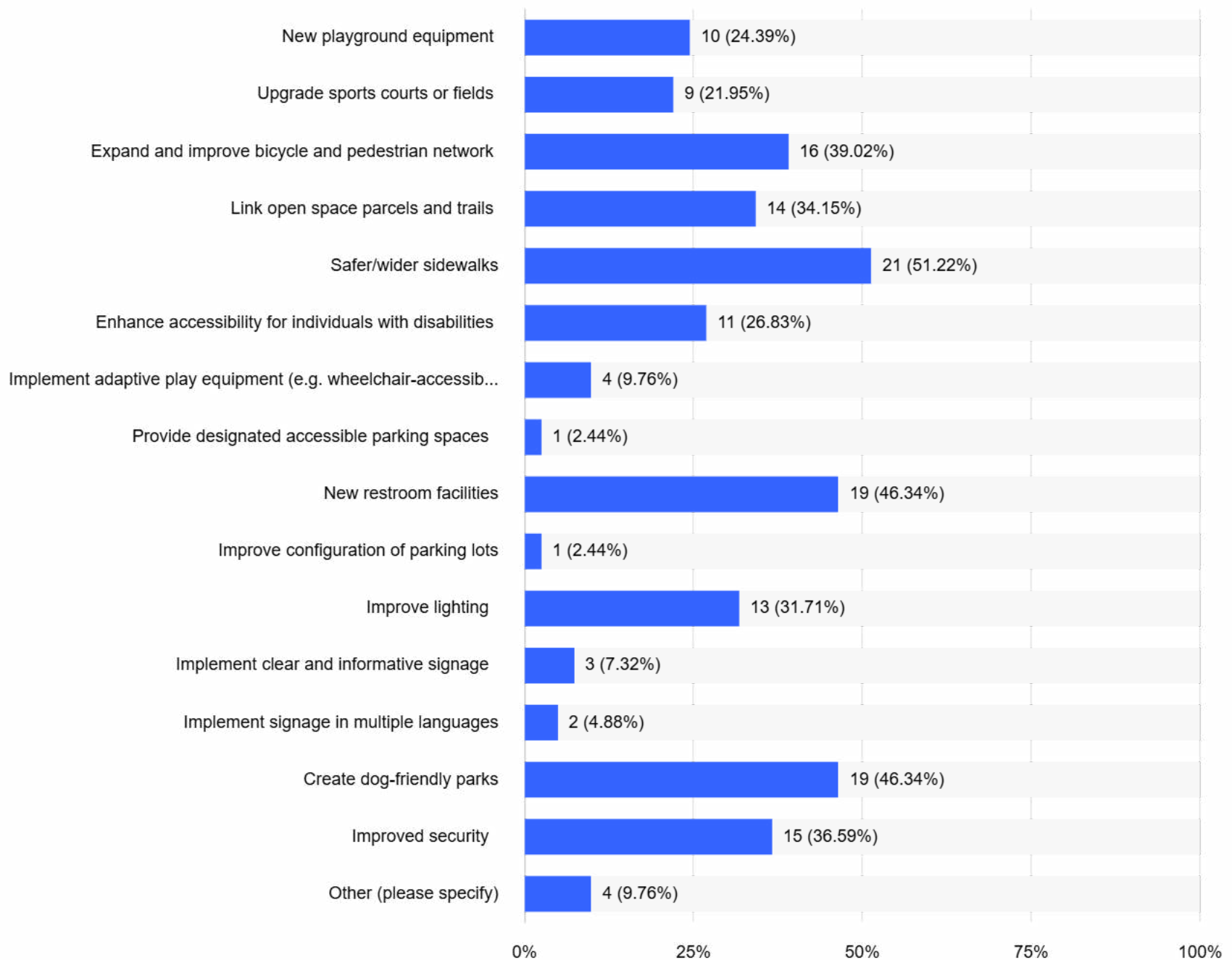
9. Please select your top five desired recreational needs in Southbridge from the options below:



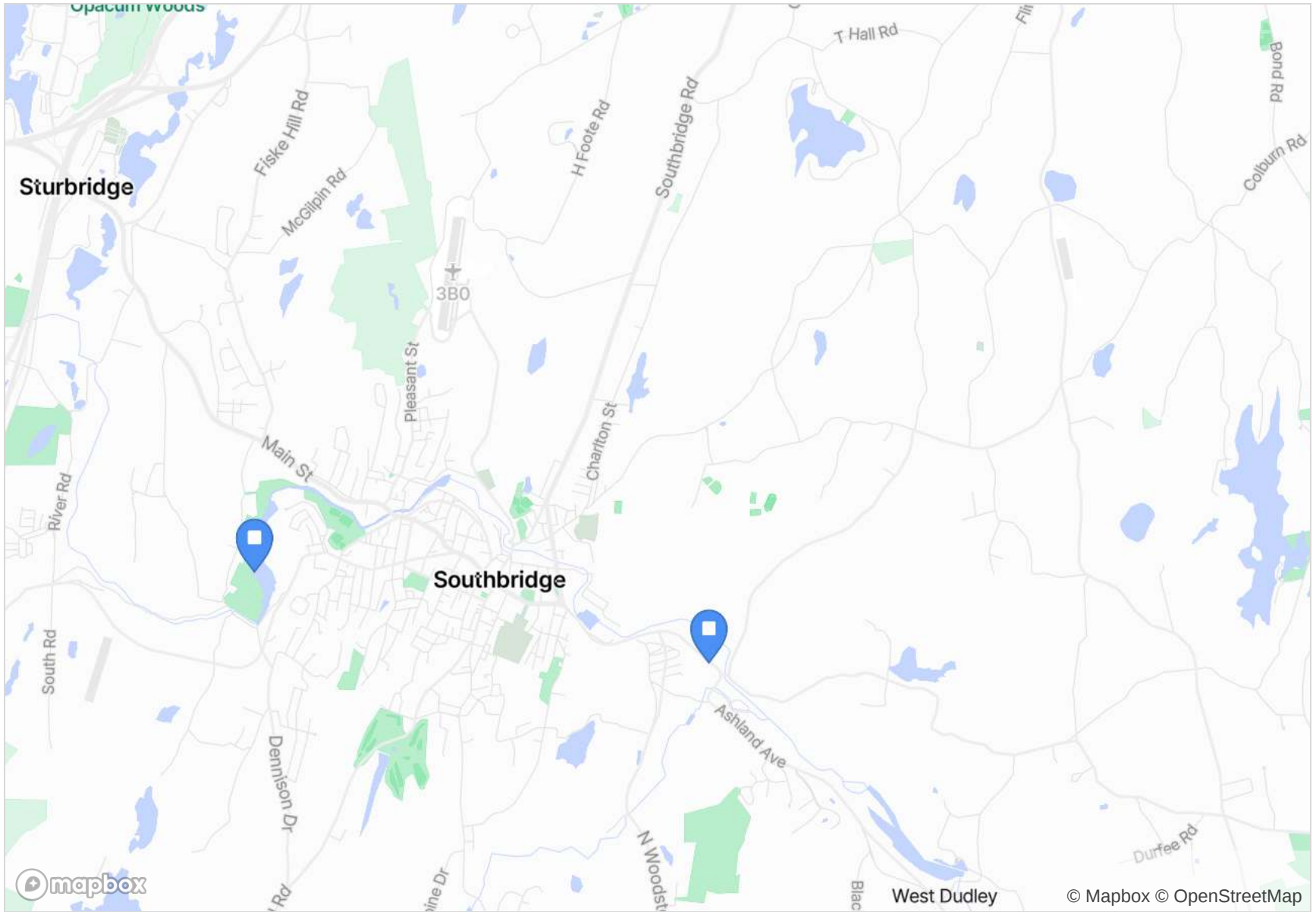
10. How satisfied are you with the current state of parks and recreation opportunities in Southbridge. Please rate your satisfaction with the following:



11. Please select the top five desired improvements for existing parks and recreation facilities in Southbridge from the options below:



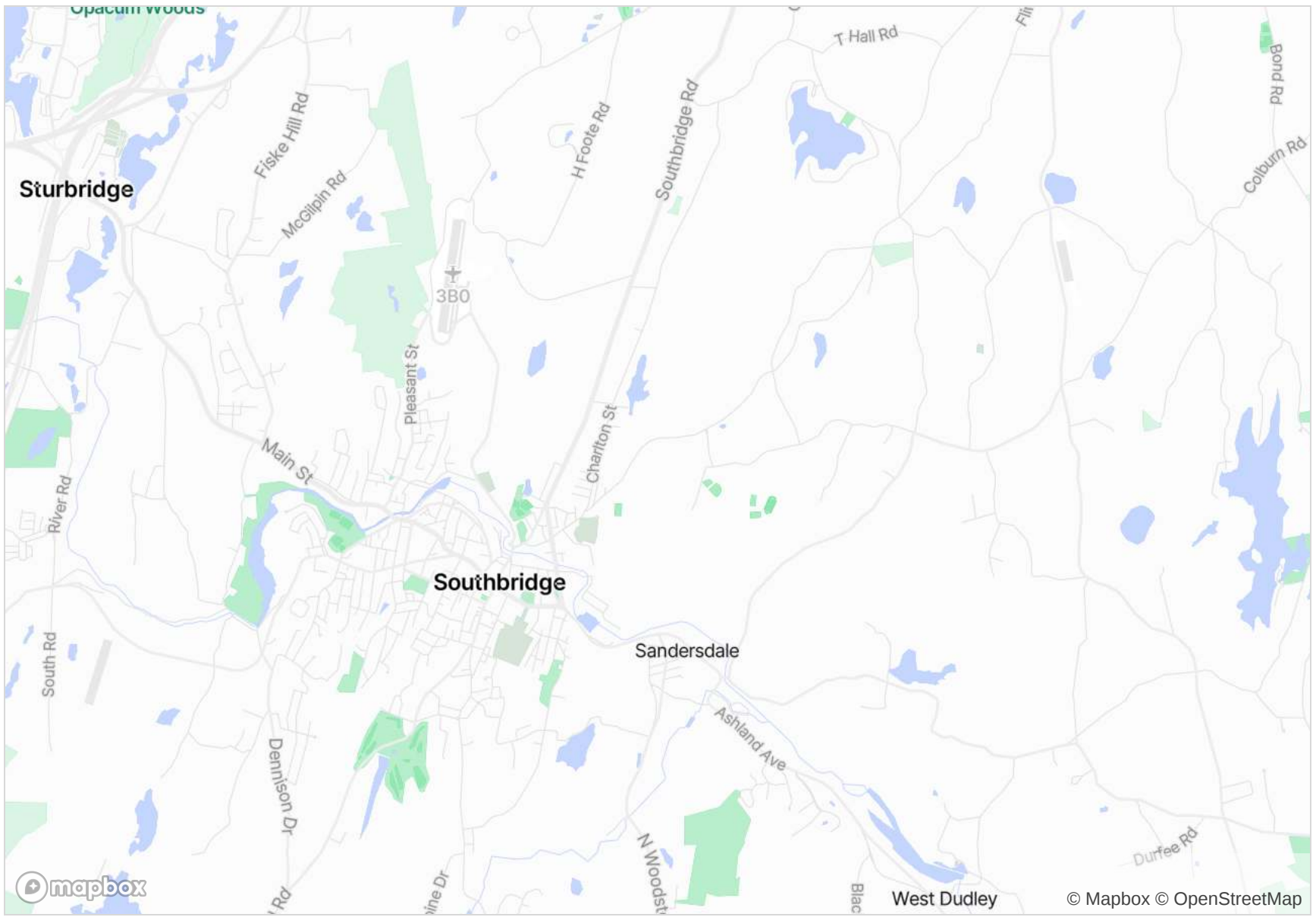
12. If you selected 'enhanced accessibility for individuals with disabilities', 'implement adaptive play equipment', or 'provide designated accessible parking spaces' could you provide specific examples of where you would like to see these improvements implemented?

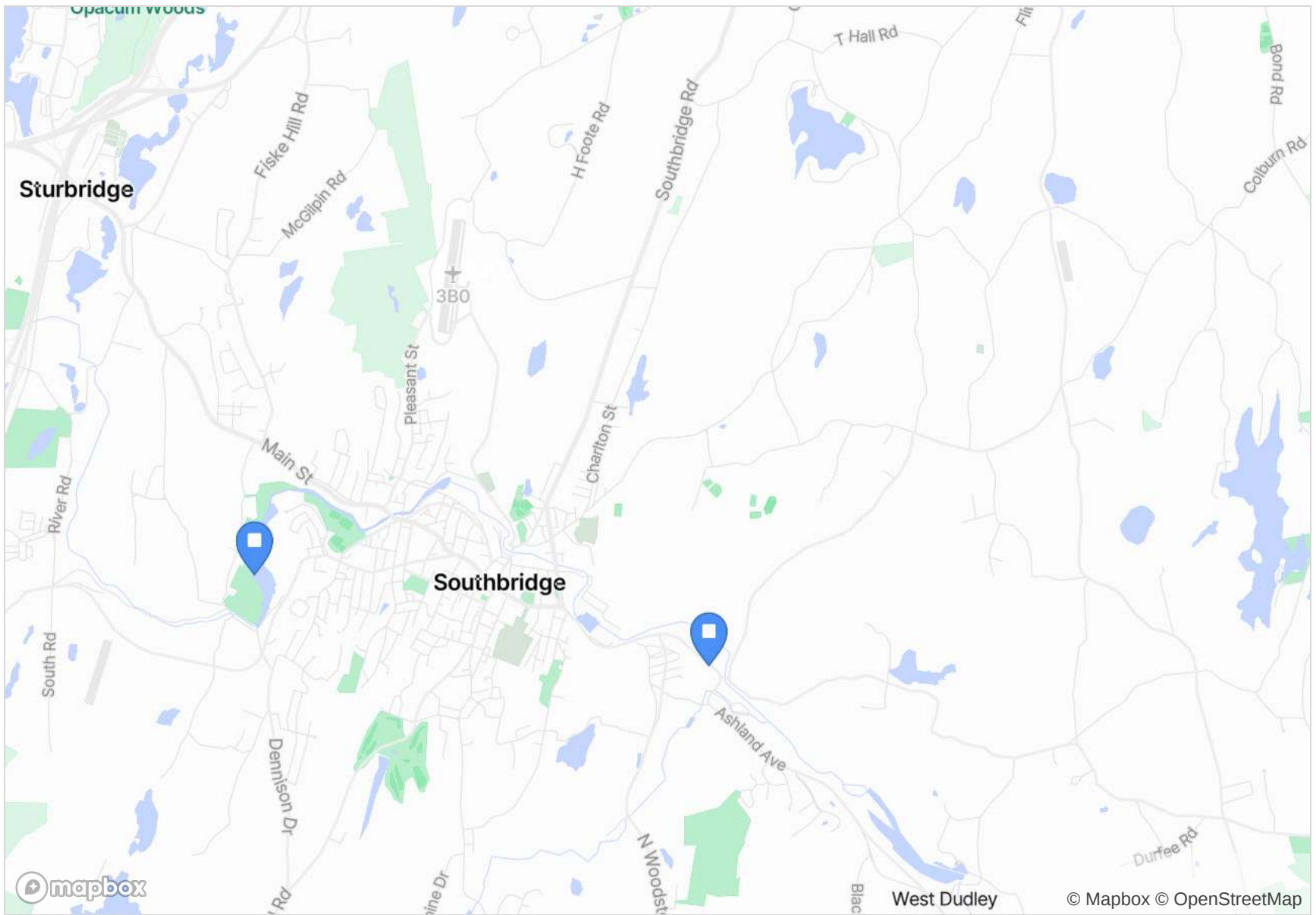


Total **Count 2** 100%

#	Word/phrase	Responses	Mentions
1	safe	1	1
2	playground	1	1
3	nice	1	1
4	lot	1	1
5	large	1	1

#	Word/phrase	Responses	Mentions
6	empty	1	1
7	adaptive	1	1

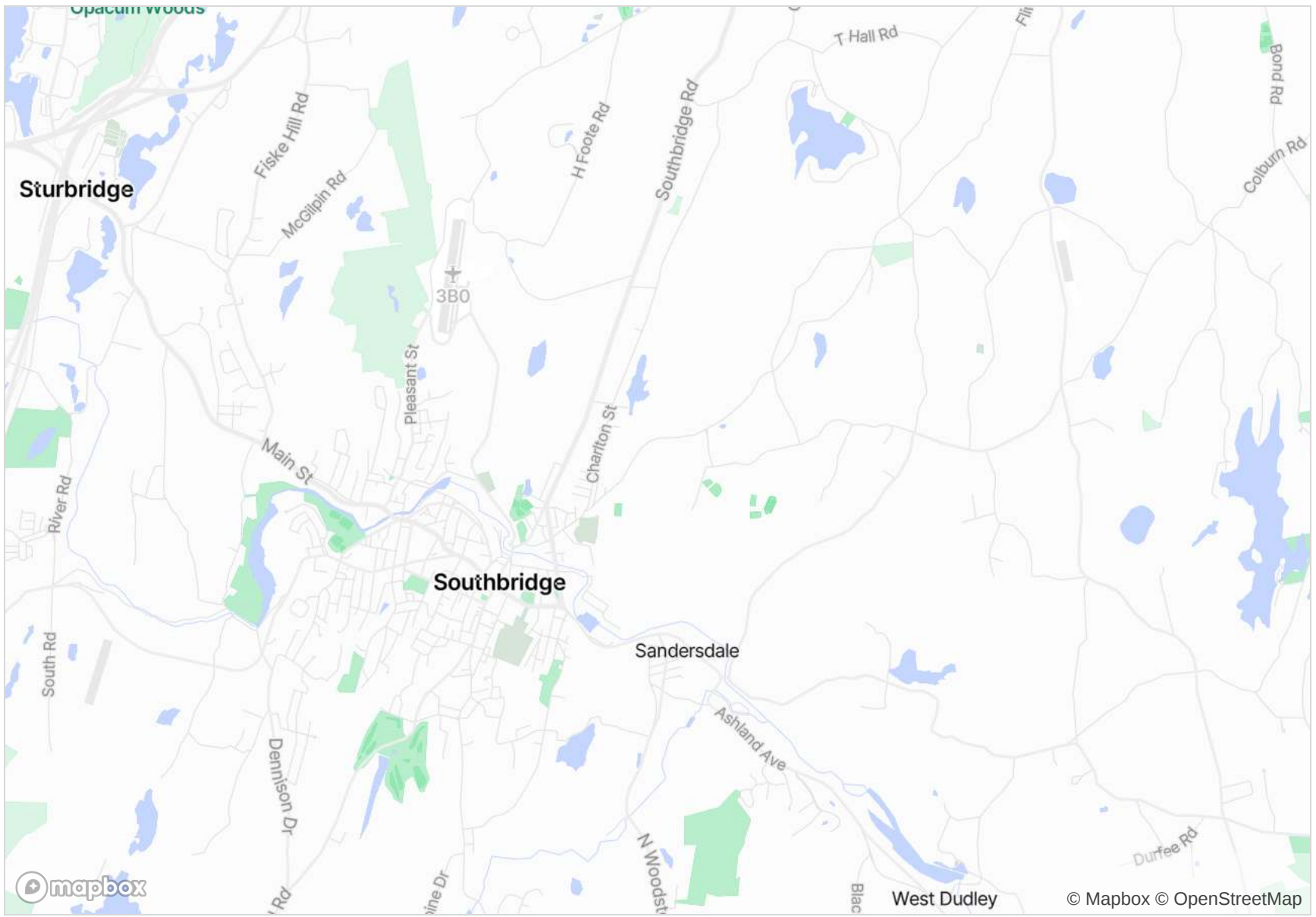




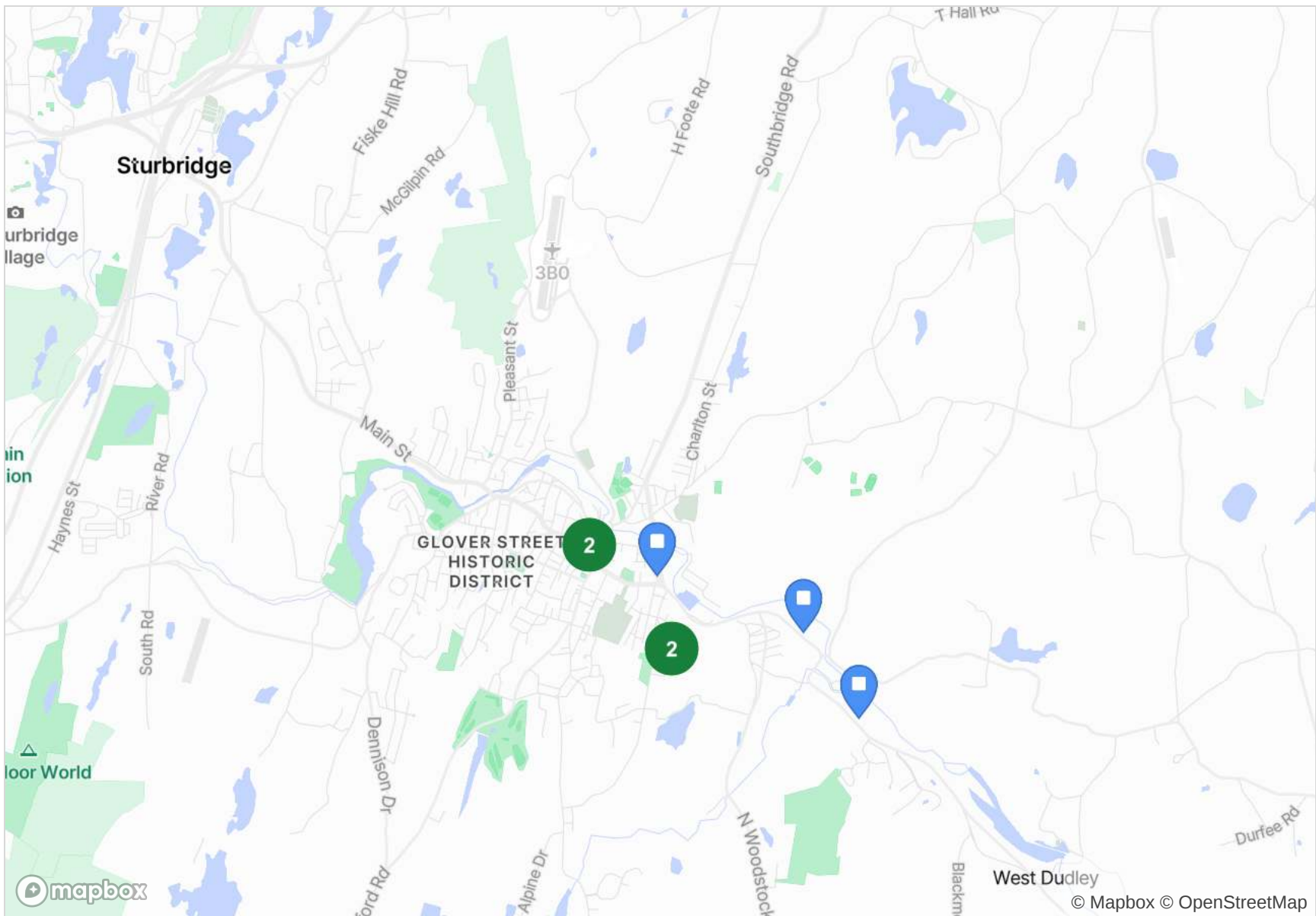
Implement adaptive play equipment 📍 Count 2 100.00%

#	Word/phrase	Responses	Mentions
1	safe	1	1
2	playground	1	1
3	nice	1	1
4	lot	1	1
5	large	1	1

#	Word/phrase	Responses	Mentions
6	empty	1	1
7	adaptive	1	1



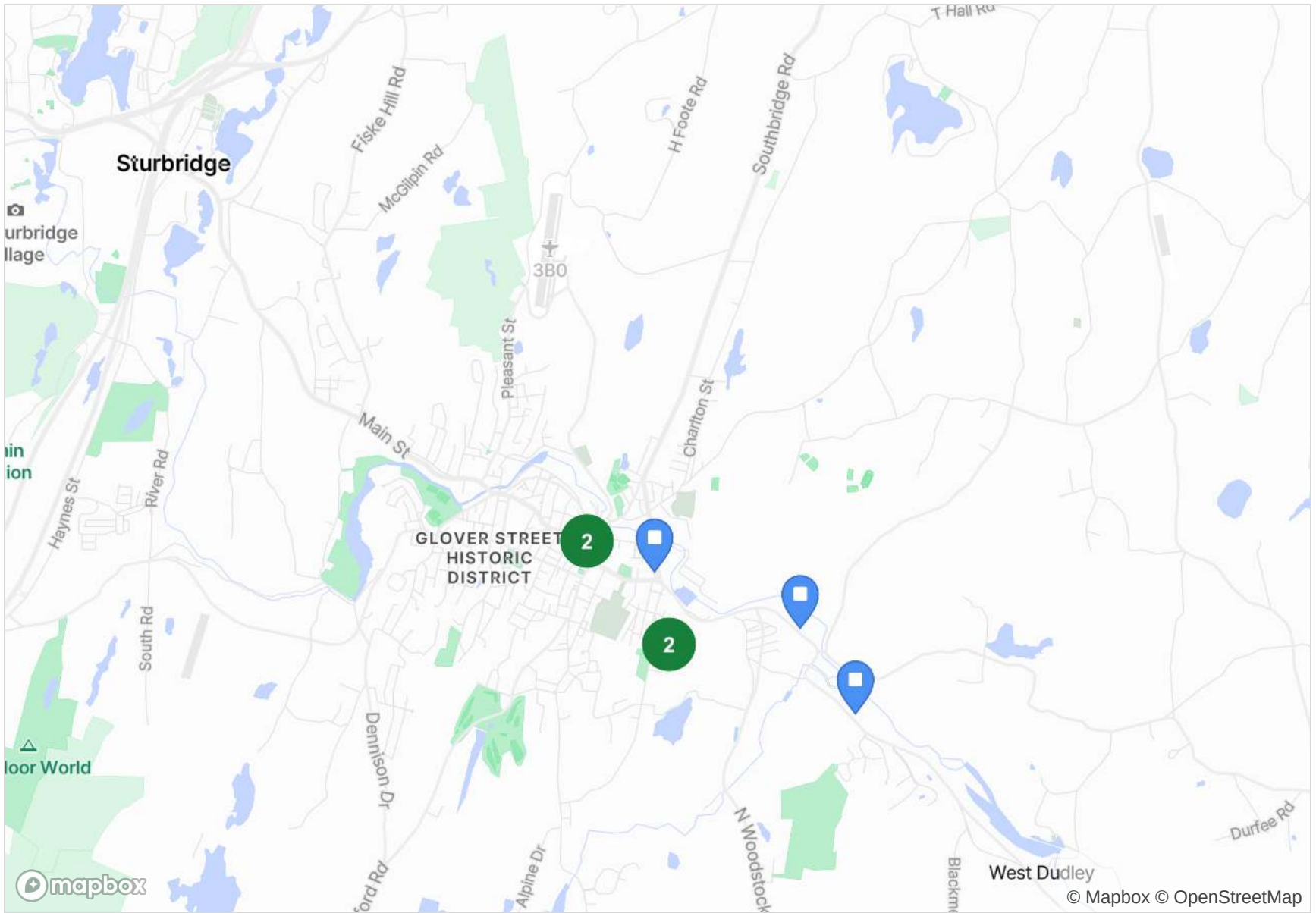
13. If you selected 'expand and improve bicycle and pedestrian network' or 'link open space parcels and trails', could you specify locations where you would like to see these linkages?



Total **Count 7** 100%

#	Word/phrase	Responses	Mentions
1	future	2	2
2	big	2	2
3	plaza	2	2
4	like	2	2
5	y	2	2

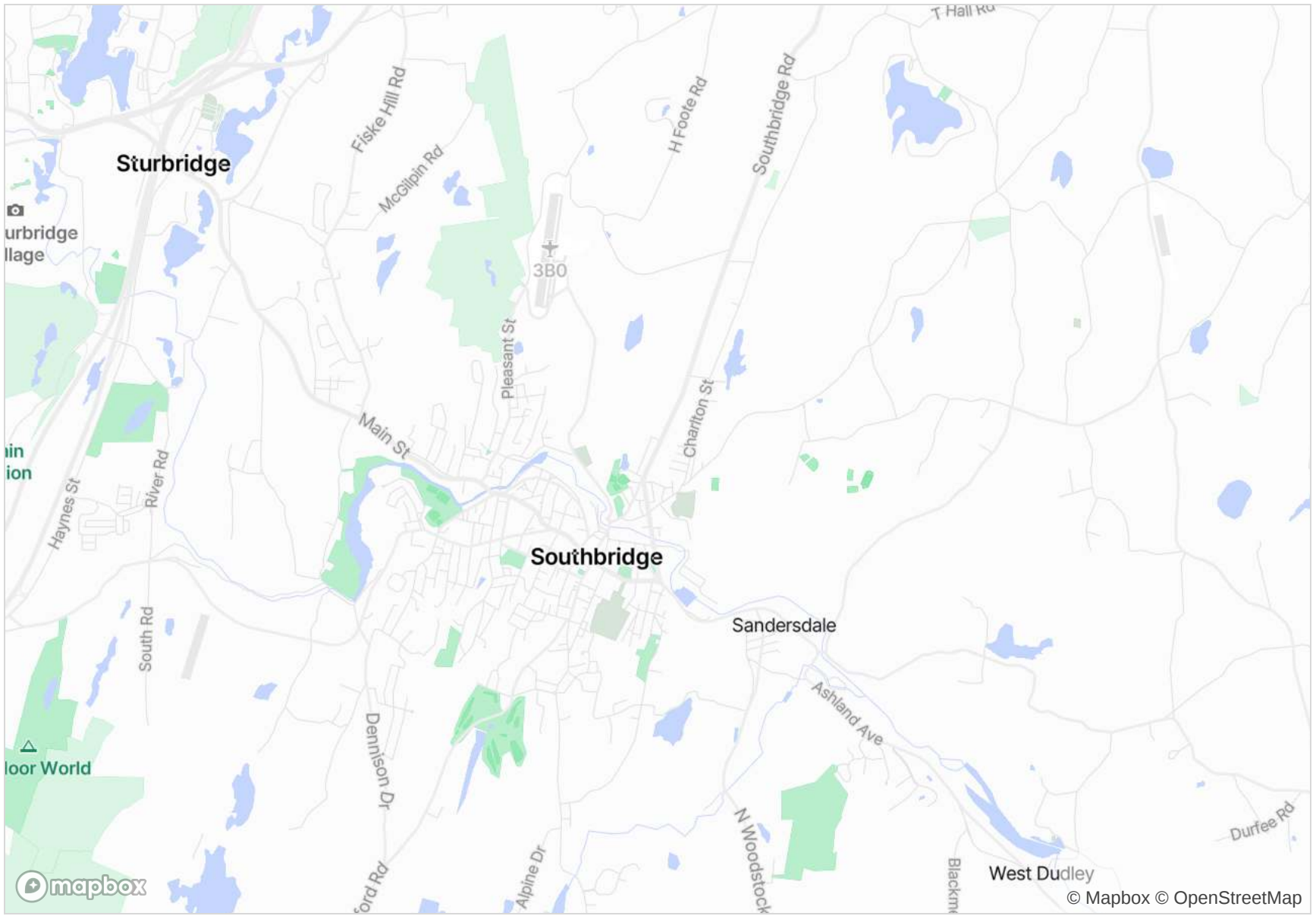
#	Word/phrase	Responses	Mentions
6	bike	2	3
7	would	2	2
8	see	2	2
9	path	2	3
10	vehicle	1	1



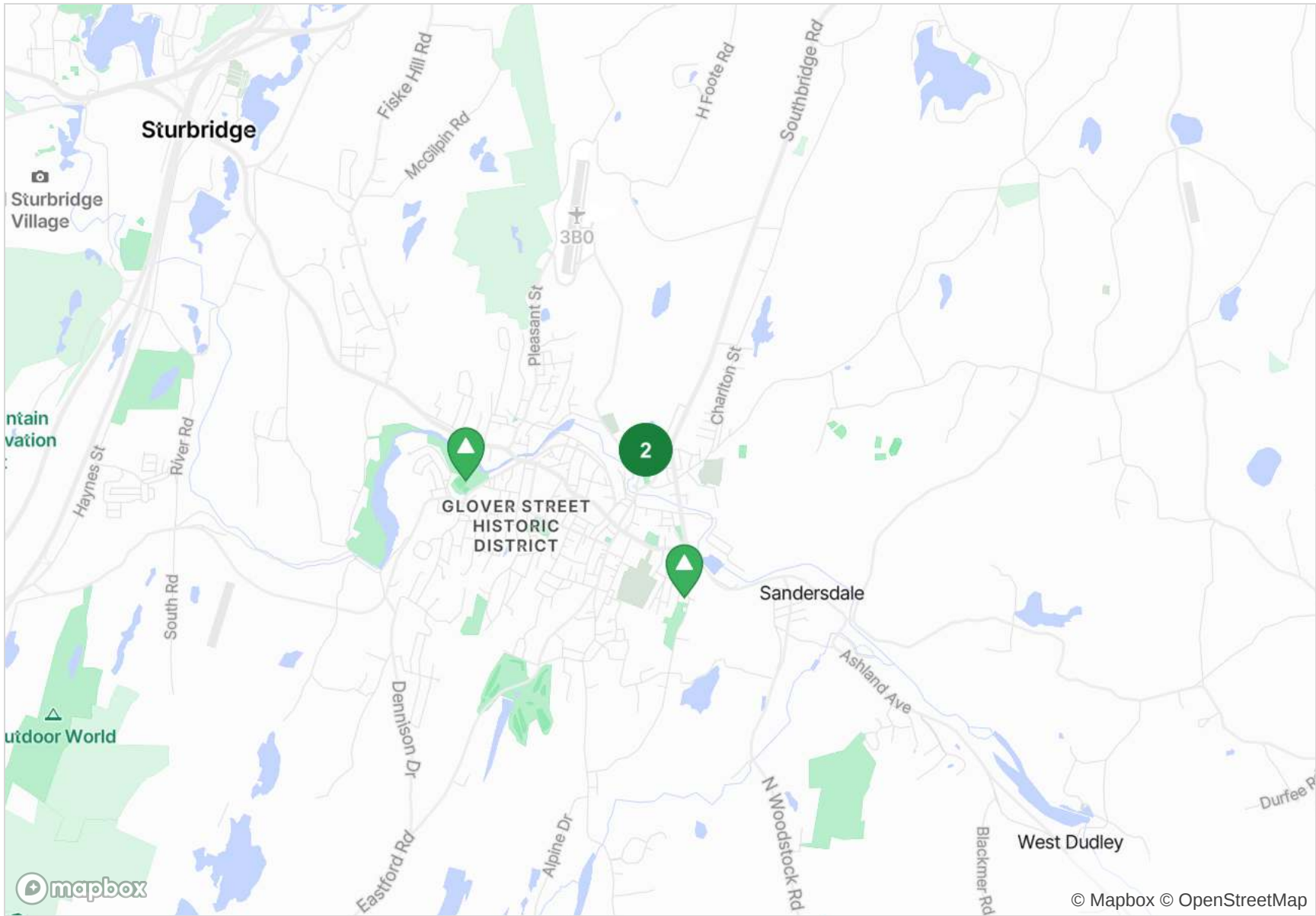
Expand and improve bicycle and pedestrian network  **Count 7** 100.00% 

#	Word/phrase	Responses	Mentions
1	future	2	2
2	big	2	2
3	plaza	2	2
4	like	2	2
5	y	2	2

#	Word/phrase	Responses	Mentions
6	bike	2	3
7	would	2	2
8	see	2	2
9	path	2	3
10	vehicle	1	1



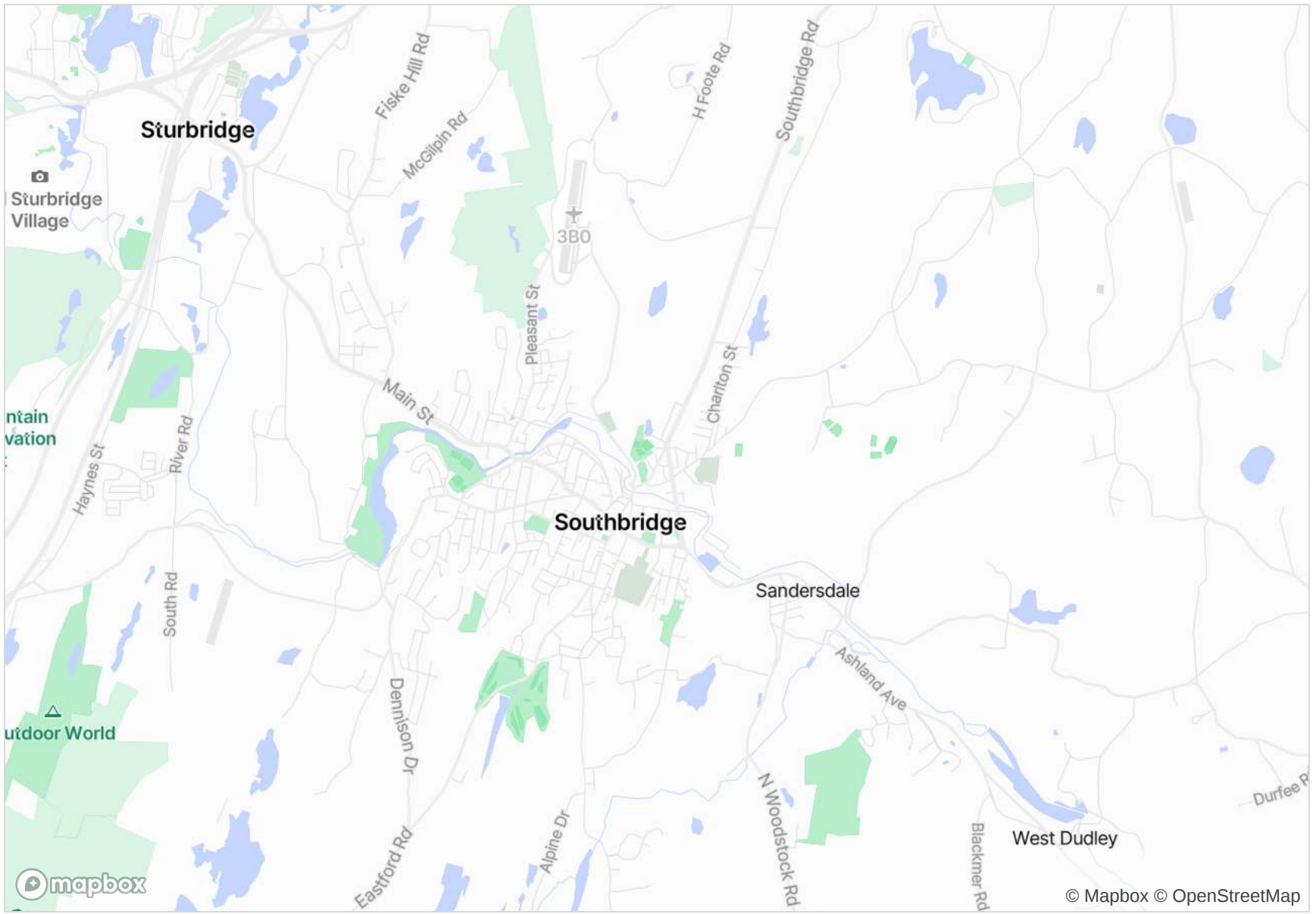
14. If you selected 'new playground equipment' or 'upgrade sports courts or fields', could you specify the locations where you would like to see these improvements implemented?

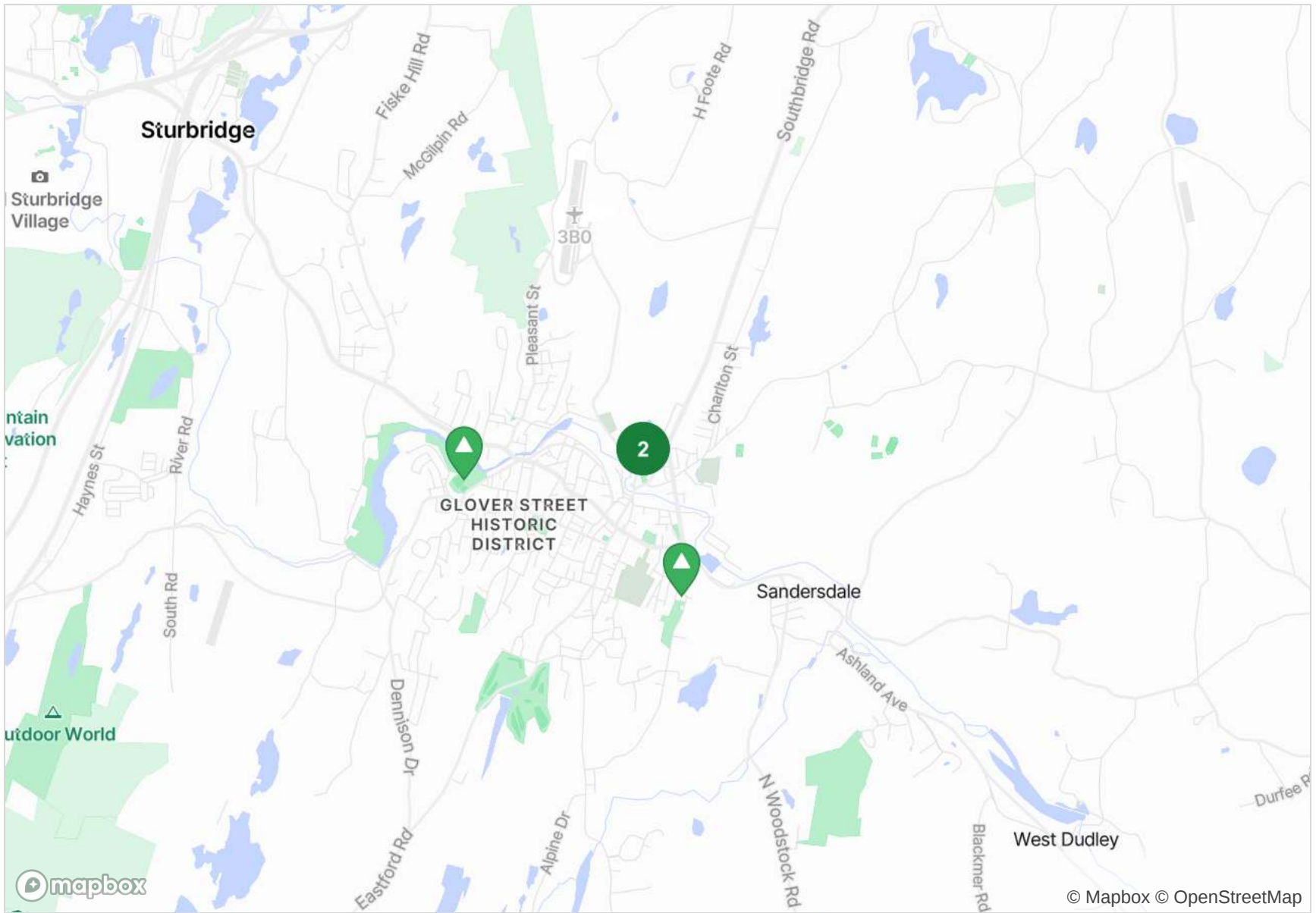


Total **Count 4** 100%

#	Word/phrase	Responses	Mentions
1	need	2	2
2	improvement	1	1
3	henry	1	1
4	growing	1	1
5	grass	1	1

#	Word/phrase	Responses	Mentions
6	fields	1	1
7	declining	1	1
8	courts	1	1
9	condition	1	1
10	cleaned	1	1





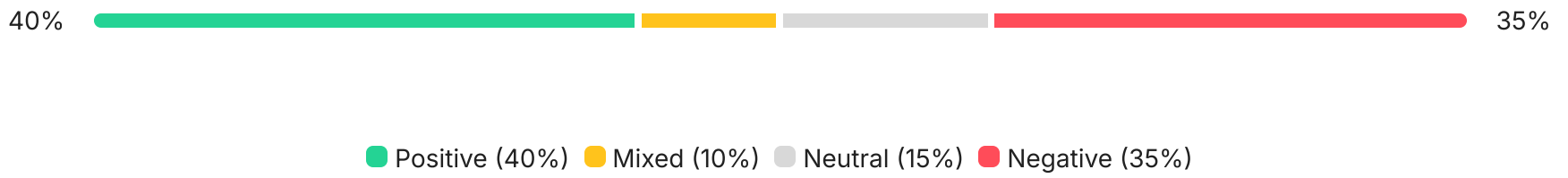
Upgrade sports courts or fields  **Count 4** 100.00% 

#	Word/phrase	Responses	Mentions
1	need	2	2
2	improvement	1	1
3	henry	1	1
4	growing	1	1
5	grass	1	1

#	Word/phrase	Responses	Mentions
6	fields	1	1
7	declining	1	1
8	courts	1	1
9	condition	1	1
10	cleaned	1	1

15. Do you have any other comments, concerns, or suggestions relative to open space, recreation, and parks in Southbridge?

Sentiment Analysis



Topic Analysis



Collected responses are currently being analyzed

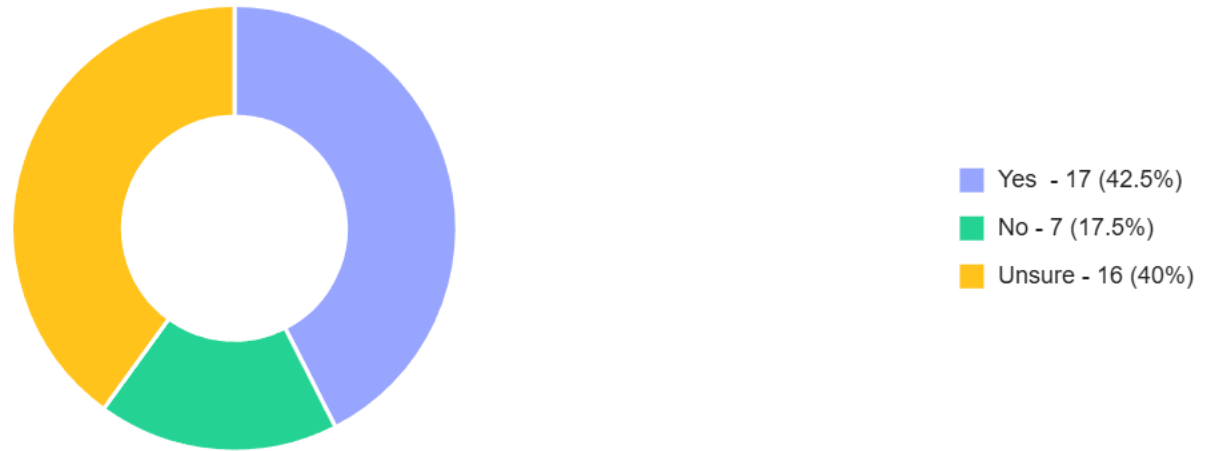
Top Keywords

#	WORD/PHRASE	RESPONSES	MENTIONS
1	need	6	6
2	would	6	8
3	trails	5	6
4	town	4	4
5	access	4	5
6	parks	4	4
7	safe	3	4
8	well	3	3
9	love	3	4
10	pickleball	3	3

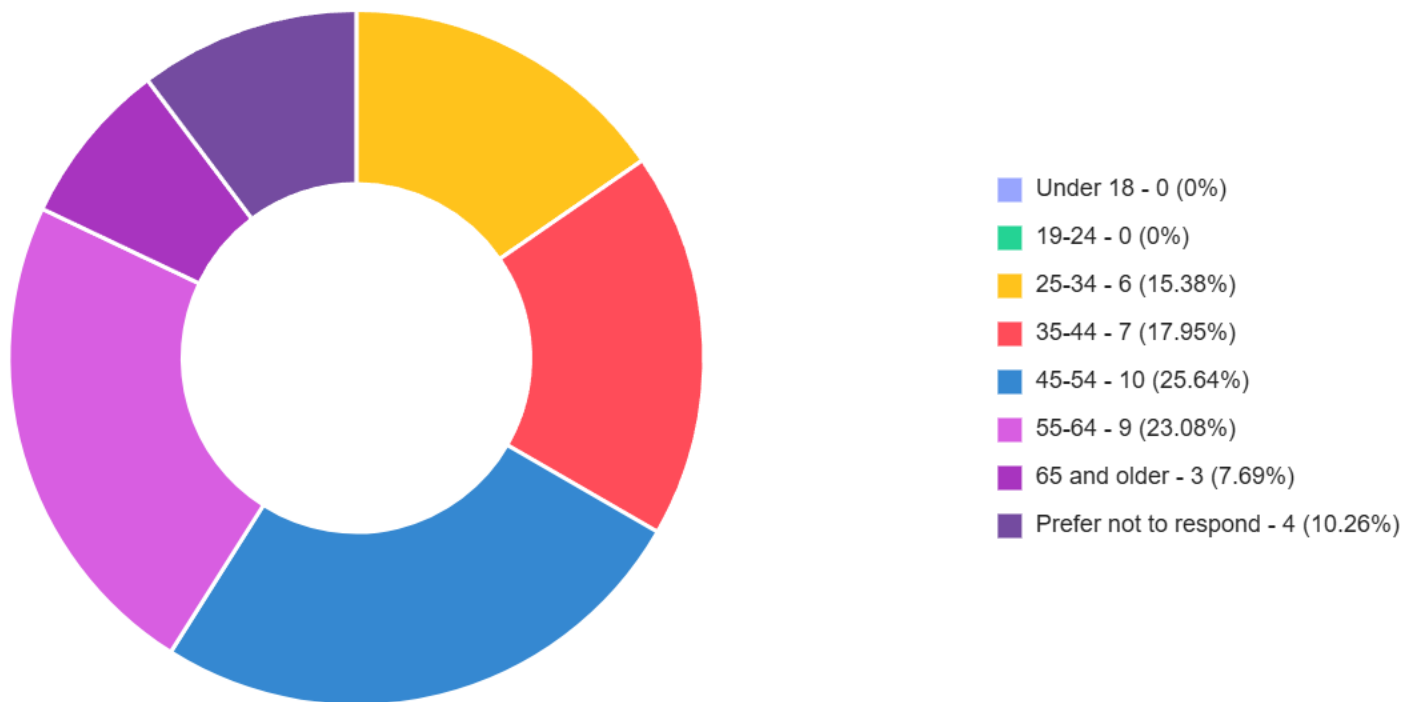
1 2 3 ... 25 >

Filters applied reduced participants from 41 to 41 (100%) · 20 of them responded to this question (49%)

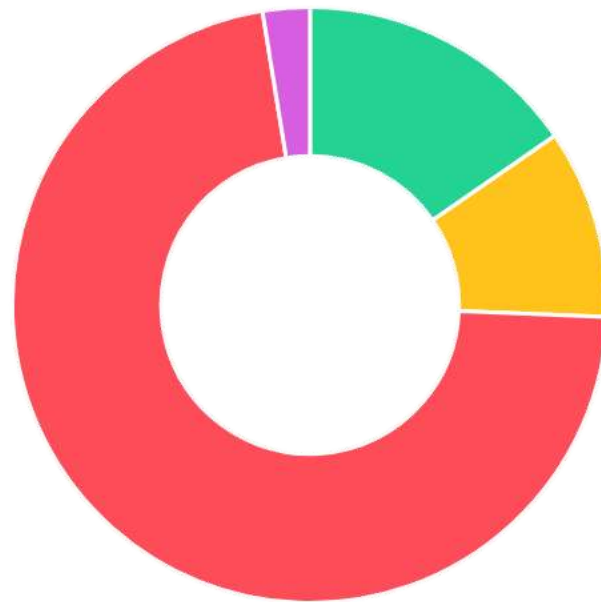
16. Would you support Southbridge adopting the Community Preservation Act (CPA)?



1. What is your age group?

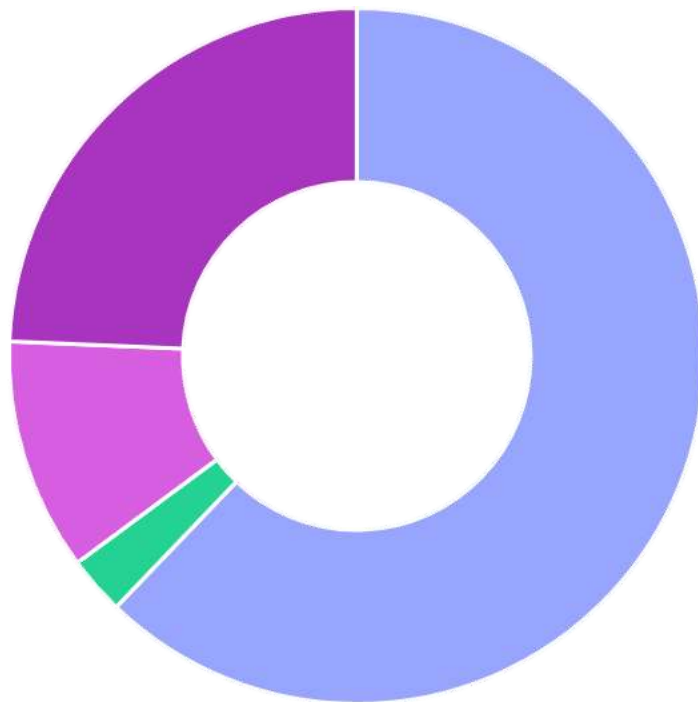


2. How long have you lived in Southbridge?



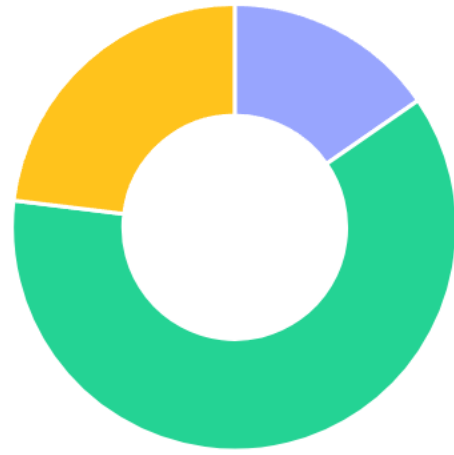
- Less than a year - 0 (0%)
- 1-5 years - 6 (15.38%)
- 6-10 years - 4 (10.26%)
- More than 10 years - 28 (71.79%)
- I do not live in Southbridge - 0 (0%)
- Prefer not to respond - 1 (2.56%)

3. What is your race? (Options are based on U.S. Census Race and Hispanic Origin Classifications)



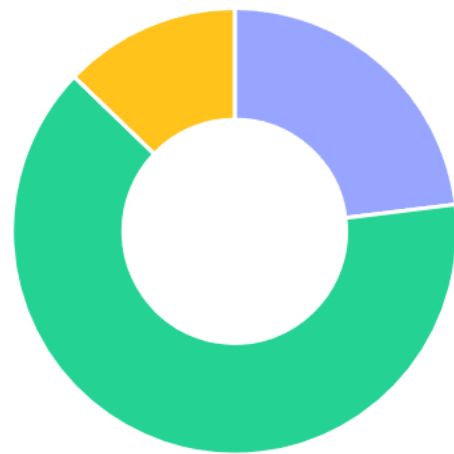
- White alone - 23 (62.16%)
- Black or African American alone - 1 (2.7%)
- American Indian and Alaska Native alone - 0 (0%)
- Asian alone - 0 (0%)
- Native Hawaiian and Other Pacific Islander alone - 0 (0%)
- Two or more races - 4 (10.81%)
- Prefer not to respond - 9 (24.32%)
- Other (please specify) - 0 (0%)

4. Are you Hispanic or Latino?



- Yes - 6 (15.38%)
- No - 24 (61.54%)
- Prefer not to respond - 9 (23.08%)

5. Does a person with a physical disability live in your household?



- Yes - 9 (23.08%)
- No - 25 (64.1%)
- Prefer not to respond - 5 (12.82%)

6. How many children under 18 live in your household?



- 0 - 23 (60.53%)
- 1 - 3 (7.89%)
- 2 - 5 (13.16%)
- 3 - 2 (5.26%)
- 4 - 1 (2.63%)
- 5+ - 0 (0%)
- Prefer not to respond - 4 (10.53%)

Appendix C: Casuabon Senior Center Facility Study

DRAFT

Casaubon Community/Senior Center

Facilities Feasibility Study & Conceptual Design Report - 6.3.2025

Kuhn Riddle Architects and Designers (KR) developed a tiered renovation approach to assess renovation recommendations for the Casaubon Community Center in Southbridge, MA. Working through the BSC Group, KR reviewed the existing building conditions and programmatic functions of the community center and developed a prioritized design strategy for renovation and future expansion. Through meetings with the BSC Group, the Casaubon Community Center's Facility and Recreation Directors, the Town of Southbridge Planning Director and Town Manager, KR developed a conceptual design strategy that introduces essential upgrades to the building's performance, safety and code compliance, as well as features that promote wayfinding, outdoor connectivity and indoor user experience. KR also engaged an engineering consultant to review the current condition of the mechanical, electrical, plumbing and fire protection (MEP/FP) systems in the building, and provide an updated MEP/FP Assessment Report (Appendix 1) recommending system upgrades to meet current code and energy requirements.

The tiered renovation approach KR proposed in the Conceptual Design Pricing Set (Appendix 2) includes infrastructure and design recommendations reflected in the Cost Estimate (Appendix 3) generated for this study. The cost estimate provides material breakdowns based on the prioritization of renovation recommendations and defines the tiers as potential phasing options to support short and long-term needs and financial resources. Tier I design includes all upgrades required for life safety (including site lighting and pedestrian access to the building – paving, parking and drainage repairs / resurfacing), building code compliance (including accessibility / ADA requirements), functionality and efficiency of MEP/FP systems, and upgrades to the building envelope (roofing, flashing, drainage, masonry repair, window and door replacements as needed) and abatement and replacement of hazardous materials throughout the building.

Tier II includes Tier I items, with the addition of improvements based on the functionality and usability of the building for its programmatic needs. These items include new interior finishes (flooring, ceilings, paint), interior doors (with ADA compliant hardware and acoustic seals), interior partitions and room layout modification to improve public and private circulation and program organization / functionality, and exterior upgrades including landscaping, shade structures, benches and pedestrian access to adjacent recreational fields.

The third, and final, Tier III includes Tiers I & II items, with preliminary consideration of opportunity for an addition to the building, and a proposed location for the additional building area on the existing site to accommodate future growth. With the three components of this study (summarized in Appendices 1-3), the documentation included in this report represent the overall proposed building floor plans and renderings to show the full renovation potential of the building, a schematic level pricing estimate for each of the tiers of renovation scope, and an updated complete MEP/FP.

The proposed design strategy was presented to representatives of the Town of Southbridge and the Directors of the Community Center to gather feedback. This presentation is included in KR's report as Appendix 4. Through this effort, KR aims to support the goals of BSC to maintain the valuable Casaubon Community Center for the Town of Southbridge.



May 15, 2025

Lindsay Schnarr
Associate / Senior Architect
Kuhn Riddle Architects & Designers
28 Amity Street
Amherst, MA 01002

**RE: Southbridge Community Center MEP/FP Analysis Report
Existing Building Infrastructure**

The Town of Southbridge is located in Worcester County, Massachusetts, United States. The population was 17,740 at the 2020 census. Southbridge was incorporated on February 15, 1816. Southbridge is one of fourteen Massachusetts municipalities that have applied for, and been granted, city forms of government but wish to retain "The town of" in their official names.

The Town of Southbridge is located just north of the Connecticut border in the Quinebaug River Valley of south-central Massachusetts. The Town is in close proximity to Routes 90, 20, 84 and 395 with convenient access to Hartford, Springfield, Providence, Boston, and Worcester. Comprised of approximately 21 square miles, Southbridge is an eclectic blend of hilly and flat, farmland and developed land, industry and downtown, and suburban, urban, and rural neighborhoods.

Southbridge has a long history of manufacturing optical products, earning it the unofficial title "Eye of the Commonwealth", in reference to the Commonwealth of Massachusetts. Under the Wells family, the American Optical Company ("AO") became the world's largest manufacturer of ophthalmic products, and at its height employed more than 6,000 people around the world.

The industrial revolution brought rapid growth to Southbridge, and with growth came varied neighborhoods and a historical downtown with Victorian architecture and large, shady streets. Industry also brought successive waves of immigration as people from many nationalities moved here to work in the mills. Neighborhoods developed near industry, while outlying areas remained largely agricultural.

By the 1950s infrastructure had caught up to the needs of a busy populace, and today, the population of 17,400 reflects the history of its development and its cultural diversity.

L.N. Consulting was retained by Kuhn Riddle Architects (KRA) to review the existing mechanical, electrical, plumbing and fire protection infrastructures serving the Southbridge Community Center at 153 Chestnut Street in Southbridge, MA and to develop a report describing observations including the condition and age of the existing MEPFP (Mechanical, Electrical, Plumbing and Fire Protection) infrastructure. The goal of the building infrastructure report is to provide an overview of the existing conditions, the



general age of the equipment and systems, and code compliance issues to help define the scope of work should the building systems undergo a major renovation.

The infrastructure report is organized in a methodology that provides prioritization of infrastructure recommendations. The highest priority group is life safety and building code compliance items. The second priority group is deferred maintenance and system or equipment wear items. The report will provide general details about the systems and then offer a combined recommendations section for ease of reference. Included with each report of existing conditions will be photos of items that may be of interest and provide more explanation of our findings.

Note that this report is based on site visits that, due to the amount of time available, and limited access to certain areas, involved general review of the building. Although LNC was able to perform a somewhat detailed analysis of the building, it was not possible to review every space or system for deficiency. The intent of this report is to provide an overview of the conditions, focusing on identifying deficiencies, including any code deficiencies concerning code deficiencies, while actual corrections required would involve specific design work.

The following is the electrical portion of the report.

Electrical

For this building, any code deficiencies noted are based on the latest adopted codes and standards:

The Tenth Edition, Massachusetts State Building Code (780 CMR), effective 7/1/2025, which adopts and incorporates by reference the following codes with Massachusetts amendments:

2021 International Building Code (IBC)
Portions of the 2021 International Fire Code (IFC)
2021 International Energy Conservation Code (IECC)
NFPA 1-2021, Fire Code
NFPA 70-2023, National Electric Code
NFPA 101-2021, Life Safety Code
527 CMR: Board of Fire Prevention Regulations. 527 CMR 1.00 (Chapter 1) is Comprehensive Fire Safety Code

When these systems were installed, they were most likely code compliant at that time. Because most codes are “grand-fathered”, the systems as they are installed now may comply with the relevant codes, however, any renovation work will typically precipitate making the recommended upgrades. Examples of these would be the requirement for weather-resistant receptacles in wet and exterior locations, and tamper resistant receptacles for schools. Other deficiencies, such as the use of shared neutrals on circuits with separate breakers, could not be investigated due to safety concerns. Due to the age of the buildings it is expected this is not an issue. It should also be noted that because a specific issue may be “grand-fathered”, it does not mean it is a safe or acceptable



condition. Many of the changes to the electrical codes are a result of injuries and deaths because of less stringent regulations and enforcement in the past.

Any renovation work should consider the use of LED lighting technology. LED lighting provides more lumens (measure of light output) per watt compared to other technologies, has a longer life, is usually inherently dimmable, generates less Ultraviolet (UV) light than fluorescent bulbs and is essentially mercury-free. For all practical purposes, fluorescent and incandescent lighting is no longer used, and most commercial buildings have or are making the change to LED.

Electrical Distribution:

The Community Center's main service is 400 amps, 120/240 volt, 3 phase, three wire service via a pole mounted transformer located across the back driveway and adjacent to the boiler room. This existing electric service is original to the facility. The panelboards, subpanels, outlets, and power feeds are in operational working yet fair condition. This electrical equipment has exceeded its service life and should be replaced.

The trailer mounted emergency generator exists in the rear of the facility. The project to replace this generator is ongoing and the new automatic transfer switch and associated conduit have been installed.

There did not appear to be any surge protection at the main service to the building. Surge protection helps protect electrical systems within a building from surges in voltage that may occur. Of particular concern are spikes during lightning strikes. Although not required, they are recommended.



The main service equipment is in the basement. Functional but past its service life.



400 amp, 240 volt, three phase service disconnect switch. This is fed directly from the pole mounted transformer. Note the overall condition shows that equipment is past its expected service life.



Meter for electrical service.



Aged panelboard.



Sub panel original to the facility.



225 amp 120/208 volt lighting panelboard, installed 2018

Wire circuiting is either via conduit or metal clad (MC) cable. Installation of electrical equipment, wiring, conduit, and metal clad has been done in a professional manner but shows signs that it's exceeded its service life. Electrical systems have been well maintained and show no signs of damage or excessive corrosion. Abandoned conduit lines with pulled wire, sub panels not in use, old telephone panels still in place should be properly capped or removed.

Receptacles in spaces accessible to the public appear no to be tamper resistant (TR) type. Recent electrical code changes require TR receptacles in public facilities to protect everyone.

Lighting:

Some of the indoor lights are incandescent bulbs, T8 fluorescent, ceiling mounted 2" x 2", or 2" x 4" troffer type. This type of lighting is usually recommended for replacement with LED.

All exterior lighting should be upgraded to LED type. The exterior mounted lighting is on timers and was not on during the day, suggesting either the time clock and a photocell controlling the lights are working correctly.

There does not appear to be much occupancy or daylight sensing. Massachusetts Commercial Energy Standards are that unless a space uses very low lighting and more than one light fixture is in space, occupancy sensing is required. Sometimes "daylight



harvesting” is required to essentially utilize the ambient light from the outdoors in lieu of lighting indoors. This is accomplished via “photo eyes” in the room that sense ambient light levels and either turn off or dim lighting accordingly.

There is emergency lighting, some of the fixtures appear to be as original to the building. Batteries can be replaced, often it is less expensive to simply buy new fixtures. Some exit signs also appear to be original to the building. There are a few newer ones.

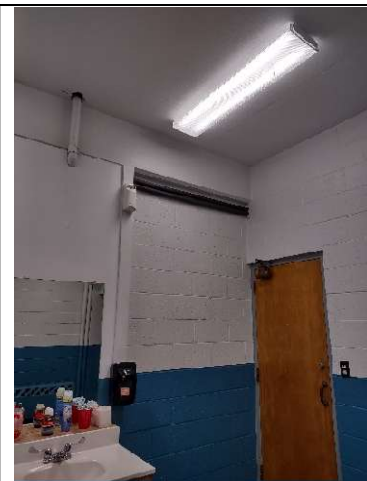
Many of the common areas have wall switches. Any public egress path should not have the means to manually turn the lighting off. Similarly, multi-person restrooms are typically set up for automatic light control instead of switches.



Typical traditional lighting. These tend to provide more glare since they do not “disperse” the light but rather simply shine down. The fixtures appear to still be incandescent and fluorescent type.



Limited traditional lighting in the boiler room.



T-8s should be replaced with LED.



Exterior flood lights with LED bulbs but showing signs of age.

Fire Alarm /Fire Protection:

The fire alarm system control panel is an audible, non-addressable type system. It appears to be in good condition. The front cover indicates no violations.

The existing fire alarm control panel is a Firelite MP – 12 – 24 installed in 1995. LN Consulting recommends a full fire protection system upgrade including new FACP, strobes, and possibly a sprinkler system.



However, due to its age it is assumed the system is obsolete. Upgrade recommended. The facility has not been provided with a fire protection sprinkler system. The fire alarm system is installed based on fire department notification and annunciation to occupants. That means fewer smoke detectors are required.

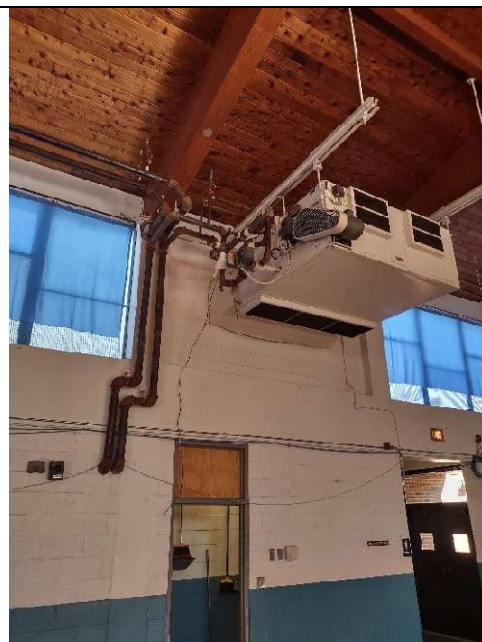
The Community Center can be considered an existing educational occupancy and it is not required to be provided with a voice notification fire alarm system. Simple alarms are adequate by code. However, if the fire alarm system were to be replaced, the fire marshal will most likely consider that a “system replacement”, and if so the new fire alarm would be required to be provided with voice notification.

One item that should be confirmed by the Community Center is that the “recall” alarm, indicating staff and visitors may reenter the building after a fire alarm, must be a distinct alarm from the fire alarm itself.

Carbon monoxide (CO) detection was not noticed, however it may have been missed. Confirm CO detection is installed at the entrance to any spaces with fuel burning equipment.



The main fire alarm panel. There were no violation notes on the front cover.



Exit sign above doorway original to the facility.



Telecommunications:

LNC did not investigate the telecommunication system. Telecom is typically done by an Owner's IT department and "methods" and "standards" for installation vary. Although there are some NEC rules to follow, for the most part telecommunication system installations do not require electricians to perform the work. The BDA system needs to be evaluated and possibly upgraded to meet local fire department requirements. Telecom hard drive and battery back up mounted in the corner meeting space should have a proper NEMA 1 enclosure.

Electrical Summary

- The electrical service and distribution equipment is obsolete and should be replaced as part of any facility upgrade.
- All lighting should be upgraded to LED lighting. This should include emergency lighting for exterior exit paths. Exterior floodlights have LED bulbs but the fixture should be replaced.
- The lighting throughout the building appears to be incandescent bulbs and T8 fluorescent type lamps and fixtures. The troffer type fixtures tend to be less efficient and result in more glare than newer LED type fixtures. LED type fixtures also allow for easier controls, particularly dimming.
- Lighting control in many areas do not utilize occupancy sensors. There did not appear to be many areas utilizing dimming or daylight sensing controls.
- The lighting in many egress paths, including lobbies, corridors and stairs, is controlled by wall switches. This is a code violation for egress paths.
- The fire alarm system is fundamentally code compliant, however due to its age it should be replaced with a new system.
- Any upgrade may require some additional smoke detectors and carbon monoxide detection.

Infrastructure Recommendations:

General Electrical Recommendations:

There are some recommendations that should be implemented to bring the Community Center up to the latest safety codes. This includes the following:

1. Electrical distribution equipment replacement.
2. Replace lighting and exit lighting to LED
3. Replace FACP.
4. Replace receptacles in public areas with tamper resistant type.
5. Remove switches in corridors with keyed switches that are only controllable by staff. This would be done in conjunction with the addition of occupancy sensors in the corridors or other egress paths.
6. Secure low voltage control wire and cabling in the gym auditorium.



The main recommendation that is not a safety issue is the replacement of the existing lighting with LED type. In conjunction with this, the controls would be upgraded to provide occupancy sensor control and dimming. The simplest way to accomplish this may be to provide new light fixtures with integral wireless controls. This would significantly reduce the amount of recircuiting required. It would be recommended to work with Mass Save as there may be some incentives to upgrade.

Based on most selected mechanical system upgrades, the electric service to the building may not need to be increased. LNC can provide existing load information and based on that it can be determined if the existing service can accommodate the mechanical upgrades or not. If not, it may be the service entrance would be increased, and possibly the outdoor transformer as well. This should be relatively simple however and based on the total scope of work required for the mechanical system upgrade this should be small.

LNC does not have any power outage information.

RE: Southbridge Community Center MEP/FP Analysis Report Existing Building Mechanical/Plumbing Infrastructure

L.N. Consulting was retained by Kuhn Riddle Architects to review the existing mechanical, electrical, plumbing and fire protection infrastructure supporting the Southbridge Community Center, 153 Chestnut Street, Southbridge, MA to develop a report describing observations including the condition and age of the existing MEPFP (Mechanical, Electrical, Plumbing and Fire Protection) infrastructure. The electrical and fire alarm portion of these observations is within a separate dedicated portion of the report. The goal of the building infrastructure report is to provide an overview of the existing conditions, the general age of the equipment and systems, and code compliance issues to help define the scope of work should the building undergo a major renovation.

The infrastructure report is organized in a methodology that provides prioritization of infrastructure recommendations. The highest priority group is life safety and building code compliance items. The second priority group is deferred maintenance and system, or equipment wear items. The report will provide general details about the systems and then offer a combined recommendations section for ease of reference. Included with each report of existing conditions will be photos of items that may be of interest and provide more explanation of our findings.

Note that this report is based on the site visit that, due to the amount of time available, and limited access to certain areas, involved general review of the building. Although LNC was able to perform a somewhat detailed analysis of the building, it was not possible to review every space or system for deficiency. The intent of this report is to provide an overview of the conditions, focusing on identifying deficiencies, including any code deficiencies concerning code deficiencies, while actual corrections required would involve specific design work.

The following is the mechanical, plumbing and fire protection portion of the report.



Mechanical/Plumbing Overview

For this building, any code deficiencies noted are based on the latest adopted codes :

The Tenth Edition, Massachusetts State Building Code (780 CMR), effective 7/1/2025, which adopts and incorporates by reference the following codes with Massachusetts amendments:

2021 International Building Code (IBC)

2021 International Mechanical Code (IMC)

Portions of the 2021 International Fire Code (IFC)

2021 International Energy Conservation Code (IECC)

ASHRAE Standard 90.1-2019 Energy Standard for Sites and Buildings Except Low-Rise Residential Buildings

ASHRAE Standard 62.1-2022, Ventilation and Acceptable Indoor Air Quality

NFPA 1-2021, Fire Code

NFPA 13-2022, Standard for the Installation of Sprinkler Systems

NFPA 70-2023, National Electric Code

NFPA 90A-2021, Standard for Installation of A/C and Ventilation

NFPA 96-2021, Standard for Vent. Control. And Fire Protection of Comm. Cooking

NFPA 101-2021, Life Safety Code

248 CMR 10.00 (Chapter 10) is the Uniform State Plumbing Code, effective 12/8/23

310 CMR: Department of Environmental Protection. 310 CMR 22 (Chapter 22) is Drinking Water

522 CMR: Board of Boiler Rules. 522 CMR 17 (Chapter 17) is Piping

522 CMR 9.00 (Chapter 9): Refrigeration and air conditioning systems

527 CMR: Board of Fire Prevention Regulations. 527 CMR 1.00 (Chapter 1) is Comprehensive Fire Safety Code

Mass MGL Part I, Title XXI, Chapter 149, Section 44A-44H, notably 44A(1)(D) - Public Buildings, Vertical Construction.

Mass MGL Part I, Title XXI, Chapter 149, Section 44F (1) requires filed sub-bids for plumbing, HVAC, and fire protection where the individual trade cost is above \$25,000. Sub-sub-bidders (such as mechanical insulation and controls,) where the individual trade cost is above \$25,000, are also a filed sub-bid.

Local jurisdiction regulations.

Municipality of Southbridge has adopted 225 CMR 23.00: "Massachusetts Stretch Code and specialized code for commercial, multi-family and all other construction - 2025 amendments to IECC2021 and ASHRAE standards 90.1-2019."

When these systems were installed, they were code compliant at that time. Because most codes are "grand-fathered", the systems as they are installed now may comply with the relevant codes, however, any renovation work will typically precipitate making the recommended upgrades. Examples of these would be the requirement for tempered water protection at public lavatories and handwashing facilities and mechanical ventilation as natural ventilation utilizing operable windows was previously permitted but is no longer an approved ventilation method. It should also be noted that because a specific issue may be "grand-fathered", it does not mean it is a safe or acceptable condition.



Existing Conditions

General

LN Consulting made our observations of the Southbridge Community Center on April 28, 2025. This building is a single floor and basement, slab on grade. The building is heated and cooled with a gas fired boiler and commercial mini split duct indoor – outdoor units.

Mechanical and Plumbing

Refer to the photo captions below for mention of the majority of the existing mechanical, plumbing, and fire protection equipment. Equipment that is at or near the end of useful service life is identified, making it an opportune time to switch to a more energy efficient solution and to address code issues.

The heating hot water system appears to have two (2) zones as follows:

1. Zone #1 - hydronic
2. Zone #2 - hydronic

The building is furnished with a natural gas service burner, hot water boiler, and hot water heater. This existing heating system has been recently tested and certified in 2020, was installed in accordance with code, and it makes sense to keep this heating system in service.

Carbon monoxide (CO) detection was not noticed; however it may have been missed. Confirm CO detection is installed at the entrance to any spaces with fuel burning equipment.

The water heater is over 10 years old and serves the domestic hot water needs of the facility. The lifespan of a water heater is typically 15 years. It is in fair condition. The water heater unit should be replaced with a hybrid electric water heater.

Unit heater and piping are in working condition. Welded, threaded black iron pipes are used for gas piping within the facility.

Recommended repairs, and equipment replacements;

A natural gas fired boiler that supplies hot water to a hot water heating loop. The loop feeds two large air handling units (AHUs) in the auditorium (one unit is offline), a fan coil unit (offline), an AHU in the storage area (offline), several unit heaters, radiant baseboard in the office areas, and meeting spaces.

The boiler is approximately 20 years old and is regularly serviced under a maintenance contract. Tested in 2020. A 30 year life cycle for a boiler is industry standard.

The (2) hot water circulation pumps for each zone are approximately 10 years old. There is a spare unit in reserve. It is stored between the two pumps.



The piping installed under slab which serves the office baseboard units has corroded and the control valves do not properly control heat distribution.

The AHUs in the auditorium are original to the facility. Unit #1 is offline. The operational Unit #2 is in current use.

The FCU over the garage style door has been decommissioned and should be removed.

The AHU in the storage area is offline. The AHU could be removed and unit heaters could be used to provide heat to this space.

The unit heaters that service the locker rooms appeared to be offline.

Hot water piping appears in good condition however further inspection is required. Insulation needs to be repaired in some areas. There are several AHU units that are offline.

Hot water circulation pumps in the main boiler room are newer units and in good condition. The circulation pumps in the office side are original to the facility.

Radiant base board heats secondary spaces and are controlled through a thermostatic flow valve.

Mitsubishi split heating and cooling systems are used in the office areas of the facility. These units are in fair condition, should be cleaned - inner blower fans, filters, tested, and more closely evaluated. They have completed more than half of their expected 15 to 20 years life cycle. Condenser units are mounted on the roof. The facilities upgrade project should include the replacement or upgrade of these split systems.

Secondary areas have aging window mounted air conditioning units that are beyond their useful life.

The boiler plant and main distribution pumps are in good condition. System piping insulation should be repaired, the boiler room should be cleaned of stored items, debris, walls patched, piping penetrations fire stopped, and painted.

AHU #1 is nonfunctional, offline, and to be replaced.

AHU #2 is in operation and provides heat to the auditorium. Replacing both AHUs will provide greater energy efficiency, space heating, cooling, and control. Options are offered in the summary of this report.

Mechanical and plumbing photos from the LN Consulting site visit.



Natural gas fired 1260 MBH burner and boiler.



Hot water circulation pumps and spare.



More recently installed temperature controls.



Natural gas fired hot water heater.



The single working AHU in the gym



AHUs, radiant baseboard, and t-stat in the storage room.



Unit heater in storage room



Unit heater and exhaust ductwork.



FCU front office hallway.



Ductwork in kitchen to be reworked to match new stove with ceiling plan.



Women's Room radiant baseboard.



Corner meeting room radiant baseboard.



Infrastructure Recommendations:

General Mechanical Recommendations:

Electrical service to the building is 400 amp 120/240 volt, three phase. This may present some limitations on mechanical equipment selection but appears to be manageable given the building size.

We have outlined below (2) potential HVAC system solutions. Some pros and cons follow at the end.

1. The base / recommended solution is water source heat pump (WSHP) geothermal-based. This is a closed loop geothermal (ground source) WSHP system that is capable of using the earth as both a sink and source of energy, provides simultaneous heating and cooling year round and energy sharing between zones. This would distribute a heat pump loop throughout the building and would have water source heat pumps serving each zone. In addition, a Water-to-Water Heat Pump would provide heating hot water for the radiant floor and to temper air. It would make sense to retain the hot water boiler as a backup for this system.
WSHP options:

- Water Furnace International, Inc., commercial water to air heat pump equipment will be the basis of design. Typically, these will be concealed ducted units.
- ClimateMaster

Water-to-Water Heat Pump Options

- Water Furnace T1 (2, 4 or 5 Tons)
- Bosch TW or WT series (not sure which is more efficient)

2. The alternate solution will use air source heat pumps. Air-to-Water Heat Pumps would generate hot water and chilled water to be distributed throughout the building. 4-pipe fan coil units would serve each zone. Heating hot water would be provided for the radiant floor and to temper ventilation air.
Air-to-Water Heat Pump Options:

- Hitachi air H20 Yutaki units (R32 refrigerant)
- Space Pak Solstice Extreme R32 (CC32-XX)
- Arctic Heat Pumps 0XXZA/BE (R410A for the moment, probably switching soon)

Pumps Options:

Grundfos Magna3 or TPE3 (TPE3 can do up to 2 horsepower at single phase)

Hydronic systems Buffer Tank Options:

Lochinvar HP250G (R30 insulation) and many others

Refrigerant R410A is being phased out 12/31/24 and most manufacturers of WSHP equipment are changing to R454B.



We anticipate the construction costs for the two different solutions may be comparable after the Inflation Reduction Act (IRA) 2022 tax credit is accounted for, since it is available for the first solution only. Considering the first solution will be more energy efficient, we believe it will be the chosen solution.

We understand the building renovation and addition will be phased. For either of the two solutions, some of the equipment that serves the entire building would need to be installed under the first phase, while other equipment could wait to be installed until a specific phase. While phasing of this work may be possible, it will add to the total cost.

We recommend a Building Management System (BMS) to be a direct digital controls (DDC) system installed to control the proposed equipment and facilitate maintenance with features such as remote internet access and alarm notification.

We recommend providing cooling throughout the facility, which will greatly improve occupant comfort during warmer times of the year as well as helping to preserve certain building finishes by helping to keep moisture levels within the facility in a desired range.

The geothermal system utilizes WSHP's throughout the facility to condition (both heat and cool) the entire facility. This system utilizes a closed loop borehole geothermal system to heat or cool the indoor heat pump loop which is utilized to heat and cool the facility. Retaining the existing boiler is for an unlikely emergency if the geothermal field were to become unavailable for an extended period of time. We recommend new ERVs be utilized to provide fully ducted ventilation air to each space. The ventilation system will be appropriately sized and designed per ASHRAE 62.1 requirements. The geothermal system will be sized based on the cooling load of the facility which is anticipated to then easily meet the peak heating demand. Based upon a current project at Burlington High School (Vermont) we roughly estimate the cooling load for this project to be 20-25 Btu/sq.ft. and heating load to be 12 Btu/sq.ft. (actual, including no safety factor.) These will be refined following the completion of an energy model and based on the proposed specific building envelope and mechanical system design.

Geothermal heat pump systems may qualify for the Inflation Reduction Act (IRA) 2022 refund of 30%-40% of the cost of the complete geothermal system, everything from the geothermal field, geothermal and WSHP equipment, geothermal and heat pump loop piping, all related pumps, vaults, hydronic accessories, power, and controls), but not including any heat pump distribution ductwork. The IRA refund has the potential to result in geothermal projects to be highly favorable selections.

We recommend geothermal heat pump systems because we have typically found these to be the most energy efficient method of conditioning most buildings based upon our energy modelling. In addition, the geothermal piping system is expected to survive for decades, reducing future maintenance costs. Replacing water source heat pumps when required is a relatively easy task.

Water source heat pumps utilize the refrigeration cycle to both heat and cool air. They accomplish this through the use of a refrigerant reversing valve allowing the equipment to



run the cycle as an air conditioner or reverse the cycle to operate as a heater. The water source heat pump can extract heat from the air and transfer it to a water loop when in cooling mode or transfer heat from the water loop to the air in heating mode. The units are very efficient with Energy Efficiency Ratio (EER) values of 15-25 in cooling mode and the Coefficient of Performance (COP) values for heat pumps are in the range of 3.0-4.5. A COP value of 3.0 indicates that for every 1 unit of energy used to run the heat pump, 3 units of heat energy are transferred to the air. This represents a 300% increase in efficiency when compared to electric resistance heating and over 300% more efficient than any fuel fired heating equipment. A water source heat pump system has the added benefit of energy “sharing.” Spaces that are in cooling mode can reject heat into the common water loop which can be used by spaces in heating. This condition can be common during shoulder seasons when the spaces with southern exposure require cooling while the spaces with northern exposure require heating. This can save significant amounts of energy in facilities that have many different exposures and variable occupancies such as this building.

We recommend installing energy recovery ventilation (ERVs) which utilize energy heat exchangers that transfer both sensible and latent energy from the exhaust air to pre-condition the ventilation air. Ductwork located above the ceilings will distribute the air.

The ventilation air will be controlled by CO₂ sensors, occupancy sensors, and occupancy schedules to vary the ventilation air delivered to each space. Variable Air Volume (VAV) boxes will be utilized to modulate the ventilation air flow to each zone. The ventilation unit fans will modulate to deliver only as much ventilation air as necessary to satisfy space demands, which significantly reduces energy consumption.

A closed loop geothermal (ground source) / water source heat pump system uses a glycol and water fluid mixture as a medium to transfer energy to and from the heat pumps located throughout the facility. The geothermal closed-loop ground source heat exchanger will be installed on the site to condition the fluid. The closed-loop heat exchanger will be a series of 500-700 ft. deep boreholes with 1-1/4” to 1-1/2” HDPE (High Density Polyethylene plastic) piping loops that utilize the near constant ground temperature to both heat and cool the facility. In the next phase we will prepare calculations to size the geothermal borehole field and these calculations will be refined following the completion of an energy model and based on the proposed specific building envelope and mechanical system design. The final borehole field design will also require the drilling of a test borehole to better understand the subsurface characteristics of this specific site.

A geothermal heat pump system utilizes only electricity to heat and cool the facility and the ventilation air. This will significantly reduce or eliminate the school building’s use of fossil fuels, notably natural gas. The heat pump loop piping interior to the building for this type of system is required to be insulated due to low temperature fluid temperatures that occur when the system is in heating mode.

The hydronic system will utilize a propylene glycol solution for freeze protection. The geothermal borehole fluid will be circulated by multiple high efficiency circulator pumps (1 circulator will be provided for redundant backup). The borehole circulators will inject into the internal building secondary heat pump loop which will be circulated by multiple high efficiency circulator pumps (1 circulator will be provided for redundant backup). All of the



new circulator pumps will have either ECM's or IE5 motors with pump mounted Variable Frequency Drives (VFDs) to modulate the speed of the pumps to match the building heating or cooling loads. The DDC system will modulate the pumps to maintain a differential pressure set point in the heat pump hydronic system. This significantly reduces pumping energy as the pumps reduce speed as the facility heating or cooling demand decreases.

Base scope (geothermal / water source heat pump system), Facility Conditioning and Ventilating Equipment:

The classrooms throughout the facility would be conditioned using water source heat pumps. A typical zone would be provided with a ducted heat pump above the ceiling providing both heating and cooling.

The heat pump will have variable speed EC fan motors, low sound package, insulated coils, hot gas reheat, MERV13 filters and BACnet controls package. The heat pump supply and return will be ducted above the ceiling (where applicable) or through the structure (where applicable). Each heat pump would be equipped with a 2-way modulating control valve to match the compressor speed to reduce water flow during low load conditions along with a balance valve to control water flow through the unit. If there is available space, the heat pump will be suspended above the ceiling with the heat pump return ducted to ceiling grilles.

Each space will have a supply and return VAV (Variable Air Volume box) to control the ventilation air. Outdoor air and exhaust will be ducted to each zone and generally ducted to the heat pump return plenum. High occupancy rooms will be a single ventilation zone with Carbon Dioxide (CO₂) monitoring; the VAVs will modulate as necessary to maintain CO₂ levels below set point values in each zone.

The offices / administrative and meeting spaces in the facility will be conditioned using either a fully ducted heat pump or exposed console style (free standing) heat pump depending on the specific application. Each heat pump will be equipped with a 2-way control valve and balance valve to control water flow through the unit. The ducted heat pumps will have the same options indicated for the classroom units where applicable. Ducted heat pumps will typically serve 2-3 offices. Console heat pumps will be installed in each office where applicable. Typical office heat pumps will be single stage units.

The other spaces will have a supply and return VAV (Variable Air Volume box) to control the ventilation air to each zone. The ventilation supply air shall be ducted to the heat pump returns (where applicable) and an exhaust grille shall be in each space. Typical office ventilation zones will be for adjacent spaces on a single zone with large open common spaces being dedicated ventilation zones. Outdoor air and exhaust will be ducted to each space with the outdoor air ducted to each heat pump return plenum. Where multiple spaces are served by a single VAV unit, each normally occupied space will have CO₂ monitoring; the VAV's will modulate as necessary to maintain CO₂ levels below set point values in each zone.

If there is to be a commercial kitchen in the renovated space, we recommend a kitchen hood sized for the specific equipment that is located underneath it. The hood will have an Ansul fire suppression system, a U.L. Listed grease laden vapor rated isolation damper, and a supply air plenum. If the kitchen cooking equipment is electric, we recommend



installing a grease laden vapor exhaust recirculation system equivalent to the Halton RAH Reco-Air unit. This unit, when paired with a Halton Capture Jet hood and the variable volume exhaust dampers, and the MARVEL controls package, this system allows for variable volume exhaust flow rate and recirculation back into the space. Exhausting air to the outdoors and conditioning outdoor air for make-up purposes consumes a significant amount of energy and recirculating the air reduces this energy consumption.

The recirculation unit will have (4) stages of filtration, and integral Ansul system, controls to interconnect with the exhaust hood system, supply air duct smoke detector, BACnet connections to the DDC system and the system is to be UL Listed (710B) for use with grease rated exhaust. The grease exhaust system will be installed per UL 762 and NFPA 96 requirements. To be determined based upon the size of the recirculated kitchen exhaust air will be how this air is cooled and how to ventilate and condition the kitchen and cafeteria spaces.

The corridors will be conditioned by either ducted or console type heat pumps. Heat pumps will be predominantly located near exterior entrances or exterior exposures. The corridors will have dedicated ventilation zones that are tied into the ventilation for restrooms off of the corridors.

A Direct Digital Controls (DDC) system will be installed to operate the HVAC equipment throughout the facility. The DDC system will have internet connectivity to enable monitoring and control of the system remotely. Web connected DDC systems can be programmed to send alerts to operators and maintenance personnel when there is an equipment failure. A DDC system will enable the new HVAC system and components to operate efficiently and as designed.

For the alternate solution using air source heat pumps, thermal storage buffer tanks located in the mechanical room will be utilized for both the hot water and chilled water. This system will not qualify for the IRA refund. It is entirely possible that the total installed cost of this system will not be cheaper than the geothermal / water source heat pump system, when considering the IRA refund. Again the hot water boiler can be retained for redundancy.

The four pipe fan coils with concealed ducted units located above the ceiling. The fan coils will have EC motors, elastomeric closed cell foam liners, inlet filters, 0.025" thickness tube wall coils, stainless steel insulated drain pans, and condensate overflow switches. Generally, fan coils will have MERV 13 filters. Modulating control valves will vary the heating/cooling capacity of the units based on the zone's call for heating or cooling. All cooling units will be provided with condensate lift pumps as required to ensure appropriate condensate drainage. Each zone (either a single space or multiple spaces) will be equipped with its own dedicated thermostat integrated into the DDC. For all spaces, modulating control valves tied into the DDC system will be installed to control the water flows to each fan coil unit.

Both solutions offer equipment with maintenance requirements that are relatively minimal.

Pros of the base/recommended solution



- A geothermal system will qualify for federal incentives that covers 30-40% tax of the cost of the geothermal system including the piping, pumps, heat pump equipment, electrical associated with said equipment, controls to operate the equipment, and the exterior ground exchanger system. This could make the system economically advantageous to install compared to other non-geothermal options.

Cons of the base/recommended solution

- Site coordination required to determine where the borehole field can fit on the site.
- The scope of work for the general contractor needs to include being responsible for making sure the paperwork is prepared, all the requirements are met (one of which is updated labor rates), and managing the process for refund of 30%-40% of the cost of the complete geothermal system under the Inflation Reduction Act (IRA) 2022. It may be that the owner submits the paperwork but they will not be able to do so without significant assistance from the general contractor and multiple trades. The owner may wish to engage a special consultant to assist them with the Inflation Reduction Act (IRA) 2022 paperwork process.

Cons of the alternate solution:

- Geothermal systems are more energy efficient and there is no energy sharing for the alternate solution between spaces in heating mode and spaces in cooling mode so energy consumption will be higher.
- Possibly higher installed cost due to 4-pipe design rather than a 2-pipe system.

General Plumbing Recommendations:

A backflow preventer will be installed for the domestic water entrance.

For both solutions, domestic hot water will be produced by residential grade electric air-to-water heat pump (hybrid heat pump) water heaters. These absorb ambient heat from the surrounding air to heat water using a compressor and R134a refrigerant. Self-contained heat pump unit is integrated into the top of the tank.

- A.O. Smith Water Products Co; HPTU-80N (Basis of Design.)
- State Industries, State Water Heaters, HPSX-80DHPT

The hybrid heat pump water heater will operate on factory controls to maintain a set temperature within the tanks.

Domestic hot water discharge temperature will be controlled by an ASSE 1017 rated thermostatic water mixing valve. The mixing valve will utilize controls and temperature sensors to maintain the desired discharge water temperature. Basis of design is the Caleffi 520500AX tank mounted 3/4" master mixing valve which has tight hot water close off, ASSE 1017, 8 gpm, and is DZR low-lead brass.

Domestic hot water recirculation will be provided by a duplex set of potable water rated circulator pumps. Grundfos Pumps Corporation, Alpha HWR 15-29 or Alpha HWR 15-55 will be the Basis of Design.



The domestic water distribution system shall be provided to support the bathrooms, drinking fountains, mop sinks, kitchen sinks and laundry.

All new water closets shall be high efficiency 1.28 GPF flushometers with anti-microbial surfaces, lavatories will be equipped with 0.5 GPM aerators, and break room sinks shall be equipped with 1.5 GPM aerators for water conservation. All facilities shall be ADA compliant where applicable. All public lavatories will be provided with ASSE 1070 point of use thermostatic mixing valves to provide tempered hot water to the fixtures. We recommend that all public lavatory faucets and all urinal/water closet flush valves be sensor operated.

All plumbing equipment including piping, valves, pumps, tanks, fixtures, etc. will be Lead-Free. The domestic water piping will be copper soldered. The sanitary waste and vent piping will be cast iron.

General Fire Protection Recommendations:

The facility has not been provided with a fire protection sprinkler system. We recommend a fire protection system be installed in the entire facility meeting NFPA 13. We recommend fire flow tests be conducted in cooperation with the water utility and in accordance with NFPA 291 guidance to evaluate suitability of the available water supply.

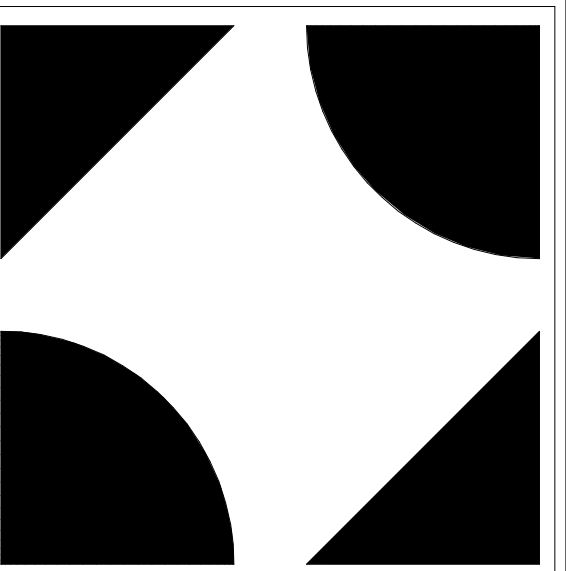
Sincerely,

David Gass
Project Manager
LN Consulting, Inc.

SOUTHBRIDGE CASAUBON COMMUNITY CENTER

FACILITIES FEASIBILITY STUDY - CONCEPTUAL DESIGN PRICING SET

JUNE 3, 2025



Kuhn Riddle
Architects & Designers

28 Amity Street, Suite 2B
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This drawing is not intended, nor shall it be used, for construction purposes unless the signed professional seal of a Registered Design Professional is affixed above.



DRAWING LIST	
NUMBER	SHEET NAME
01 COVER SHEETS	
G1.0	COVER SHEET
02 DEMO	
A1.01	EXISTING / DEMO FLOOR PLAN
A1.02	EXISTING / DEMO RCP
A1.03	EXISTING / DEMO EXTERIOR ELEVATIONS
03 ARCHITECTURAL	
A1.1	PROPOSED FLOOR PLAN
A1.2	PROPOSED RCP
A2.1	PROPOSED EXTERIOR ELEVATIONS
A3.1	BUILDING SECTIONS
A4.1	ENLARGED FLOOR PLANS & DETAILS
A5.1	SCHEDULES

PROJECT NARRATIVE

This study explores a tiered renovation approach to recommend upgrades for the Casaubon Community Center in Southbridge, MA. Working through the BSC Group and the Town of Southbridge, Kuhn Riddle Architects and Designers are proposing a series of renovation strategies to provide essential upgrades to the building system and envelope, ADA accessibility standards and overall safety, function and experience of the community building. As a former Armory, the exterior of the building is largely protected by the Historic Registry requirements, and therefore all exterior design strategies aim to preserve the existing architecture and introduce minimal changes to the building exterior.

The Tier I renovation scope prioritizes improvements to the building systems: replacing out-dated mechanical, electrical (including LED lighting) and plumbing systems; essential maintenance upgrades to the building envelope, including masonry repair, exterior window replacement, roof replacement with new gutters, flashing and downspouts; as well as all life-safety and code requirements, including new accessible restrooms, new flooring and paint throughout with full abatement of hazardous materials.

Finally, Tier I scope includes upgrades to the exterior access to the building, including new site lighting throughout the parking lot and exterior lighting at the main entrances, new building signage at the front (west) and back (south) entrances, and new paving to improve drainage and shift the parking and vehicular passage away from the south entrance along a main pedestrian connection to adjacent recreational fields.

Tier II renovation scope includes all of Tier I recommendations, and improvements focused on user experience and program function, including interior room layout changes, internal circulation path improvements, kitchen renovation, and exterior shading pergola structures at the main entrances (west and south).

The final Tier III renovation scope includes Tiers I & II and introduces preliminary consideration of opportunities for building additions to accommodate future growth. The footprint of this proposed future addition utilizes the paved drive aisle to the north of the building that is not needed for access and offers an area of expansion off of the existing storage area to the north of the existing gym.

An updated complete MEP/FP Assessment Report (Appendix 1) is also provided as integral to this study to identify the extent of current upgrades needed to maintain this valuable community building for the Town of Southbridge.



APPENDIX 2

SUBMISSION SCHEDULE

No.	Name	Date

SOUTHBRIDGE FACILITIES STUDY

153 CHESTNUT ST.
SOUTHBRIDGE, MA

Date: 6/3/25
Project: 24061

COVER SHEET

G1.0

PLANNING

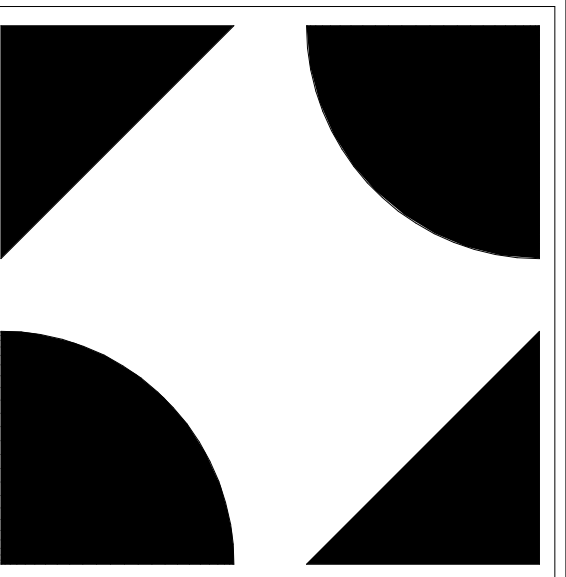
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SUBMISSION SCHEDULE

No.	Name	Date

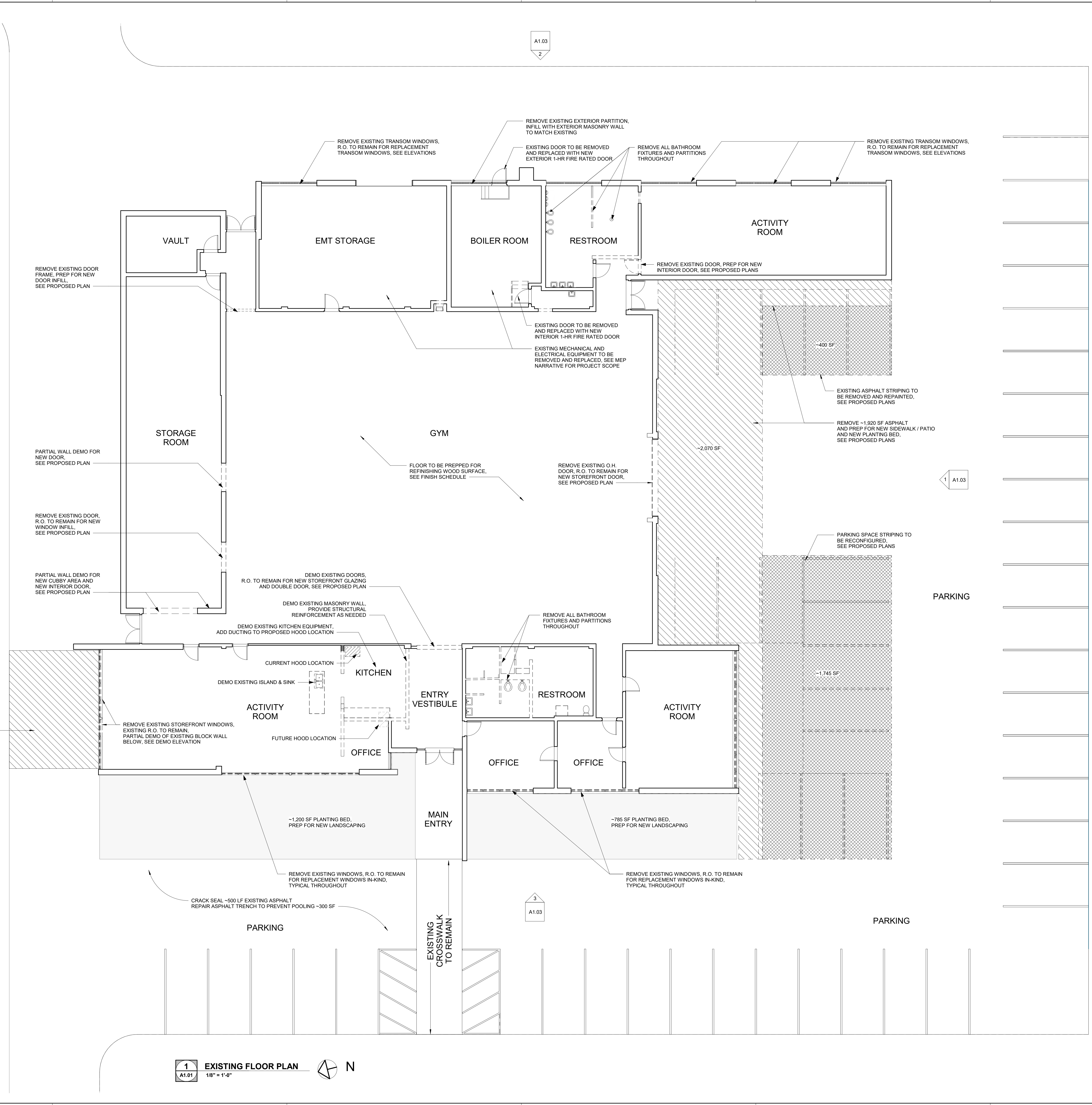
**SOUTHBRIDGE
FACILITIES STUDY**

153 CHESTNUT ST.
SOUTHBRIDGE, MA

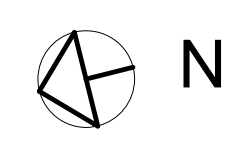
Date: 6/3/25
Project: 24061

**EXISTING / DEMO
FLOOR PLAN**

A1.01



1
A1.01
EXISTING FLOOR PLAN
1/8" = 1'-0"



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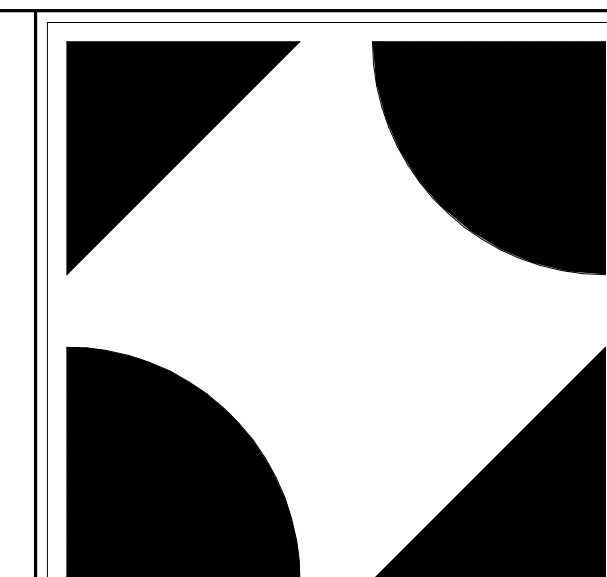
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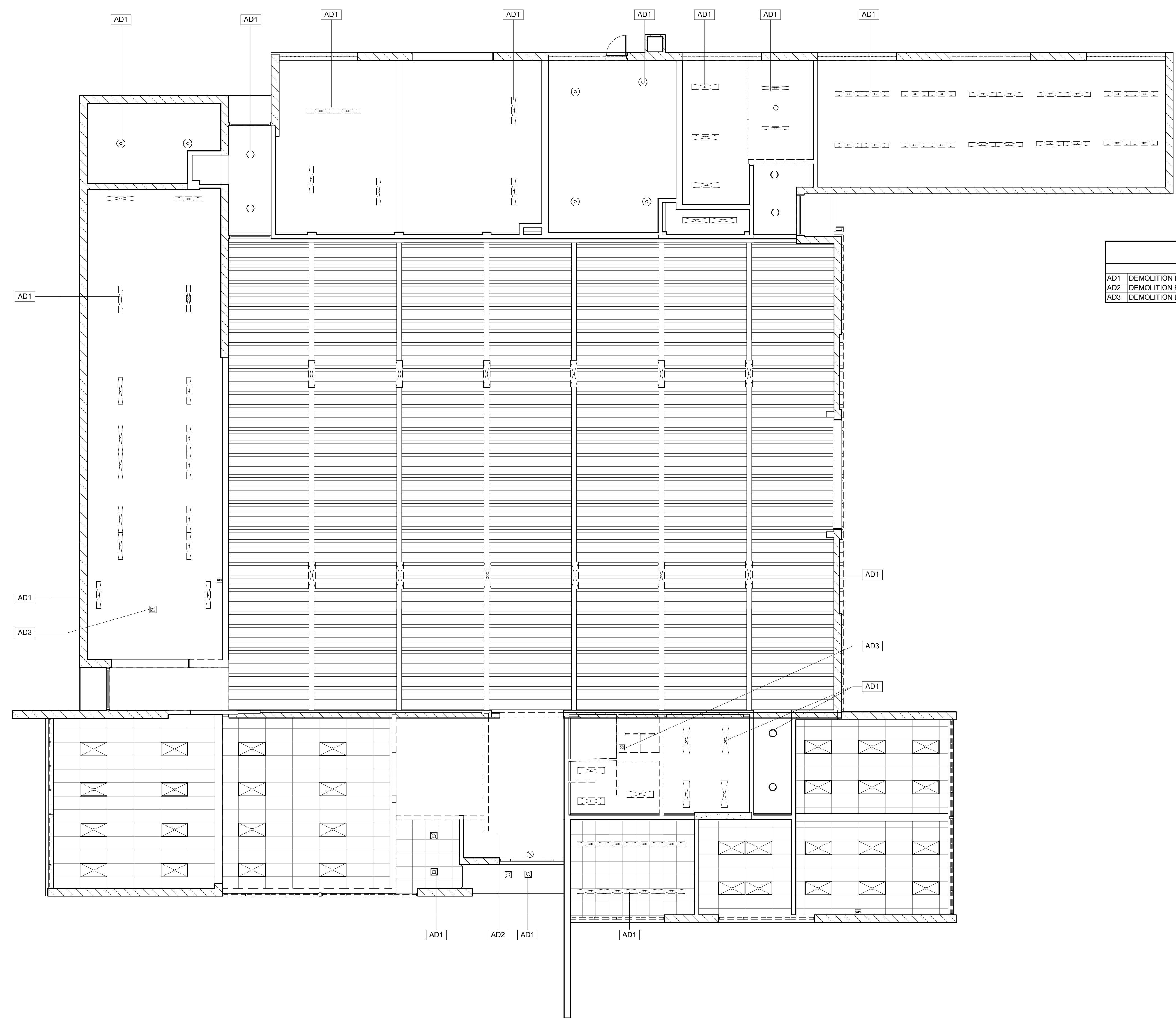


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DEMOLITION NOTES	
AD1	DEMOLITION EXISTING LIGHT FIXTURE
AD2	DEMOLITION EXISTING CEILING AND PREP SURFACE FOR NEW CEILING
AD3	DEMOLITION EXISTING MECHANICAL EQUIPMENT

2 DEMO RCP
A1.02 1/8" = 1'-0"

SUBMISSION SCHEDULE

No.	Name	Date

**SOUTHBRIDGE
FACILITIES STUDY**

153 CHESTNUT ST.
SOUTHBRIDGE, MA

Date: 6/3/25
Project: 24061

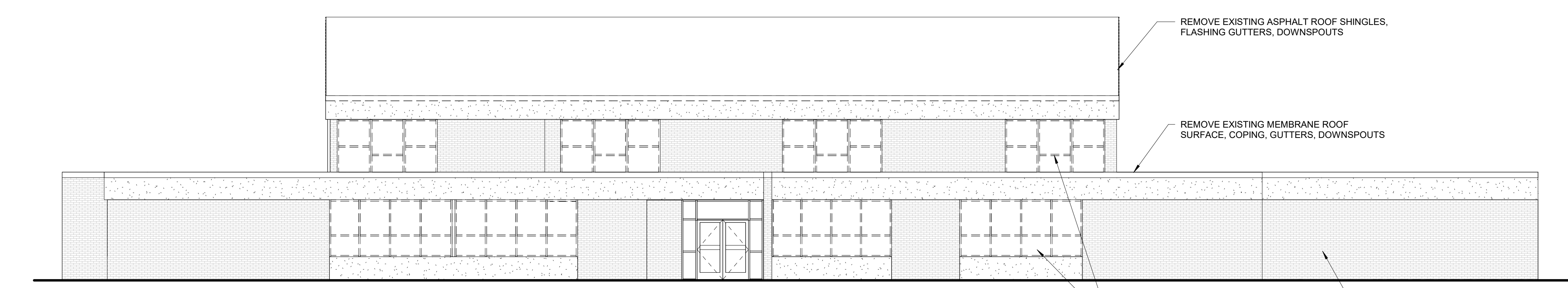
EXISTING / DEMO
RCP

A1.02

1 2 3 4 5 6

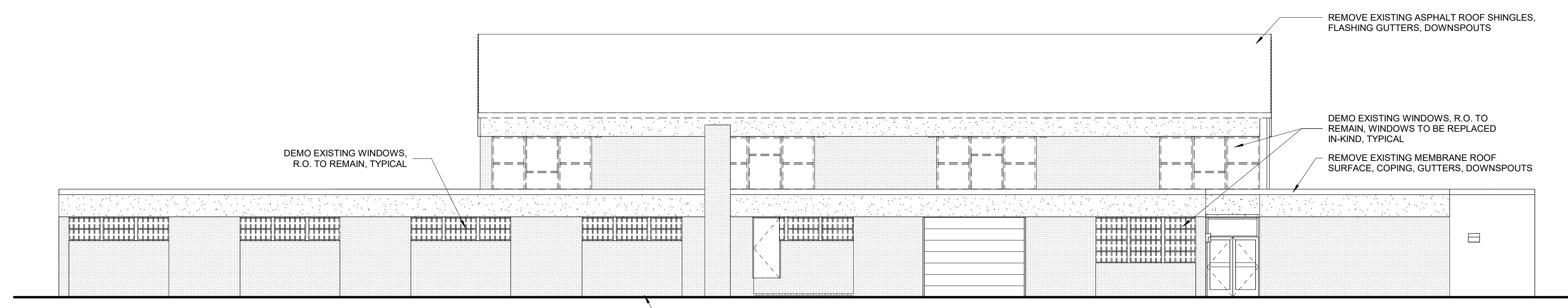
1 2 3 4 5 6

A



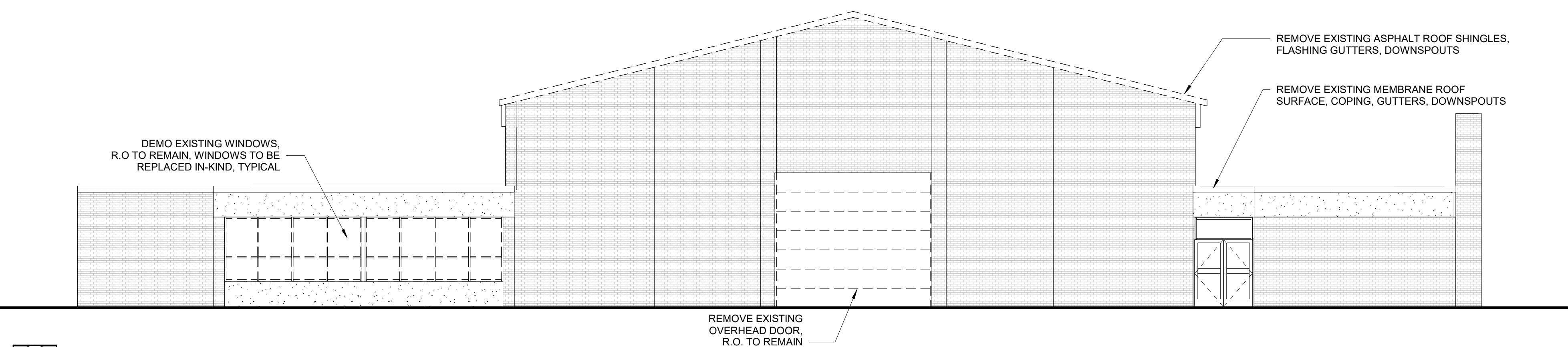
3 DEMO ELEVATION - WEST
 A1.03 1/8" = 1'-0"

B



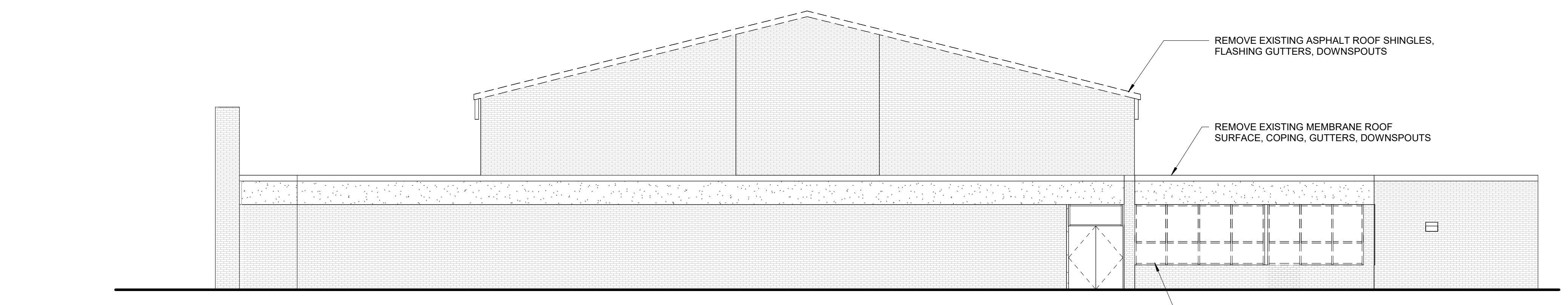
2 DEMO ELEVATION - EAST
 A1.03 1/8" = 1'-0"

C



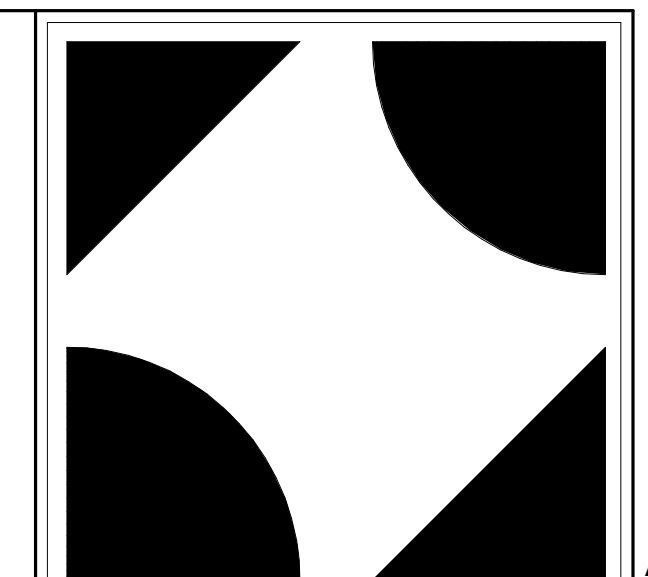
1 DEMO ELEVATION - SOUTH
 A1.03 1/8" = 1'-0"

D



4 DEMO ELEVATION - NORTH
 A1.03 1/8" = 1'-0"

E



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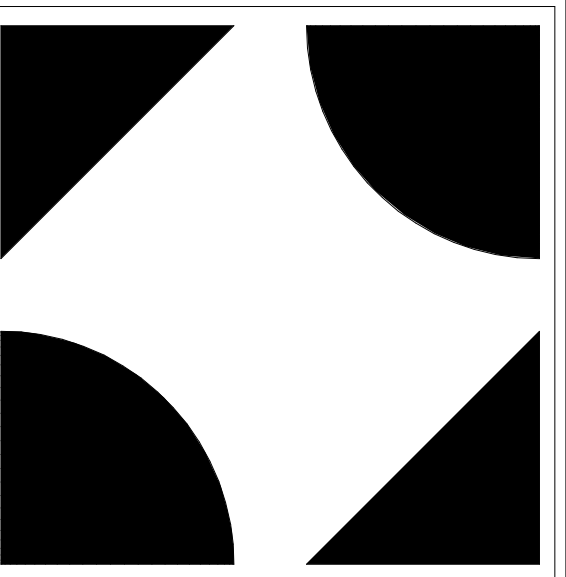
Date: 6/3/25
 Project: 24061

EXISTING / DEMO EXTERIOR ELEVATIONS

A1.03

1 2 3 4 5 6

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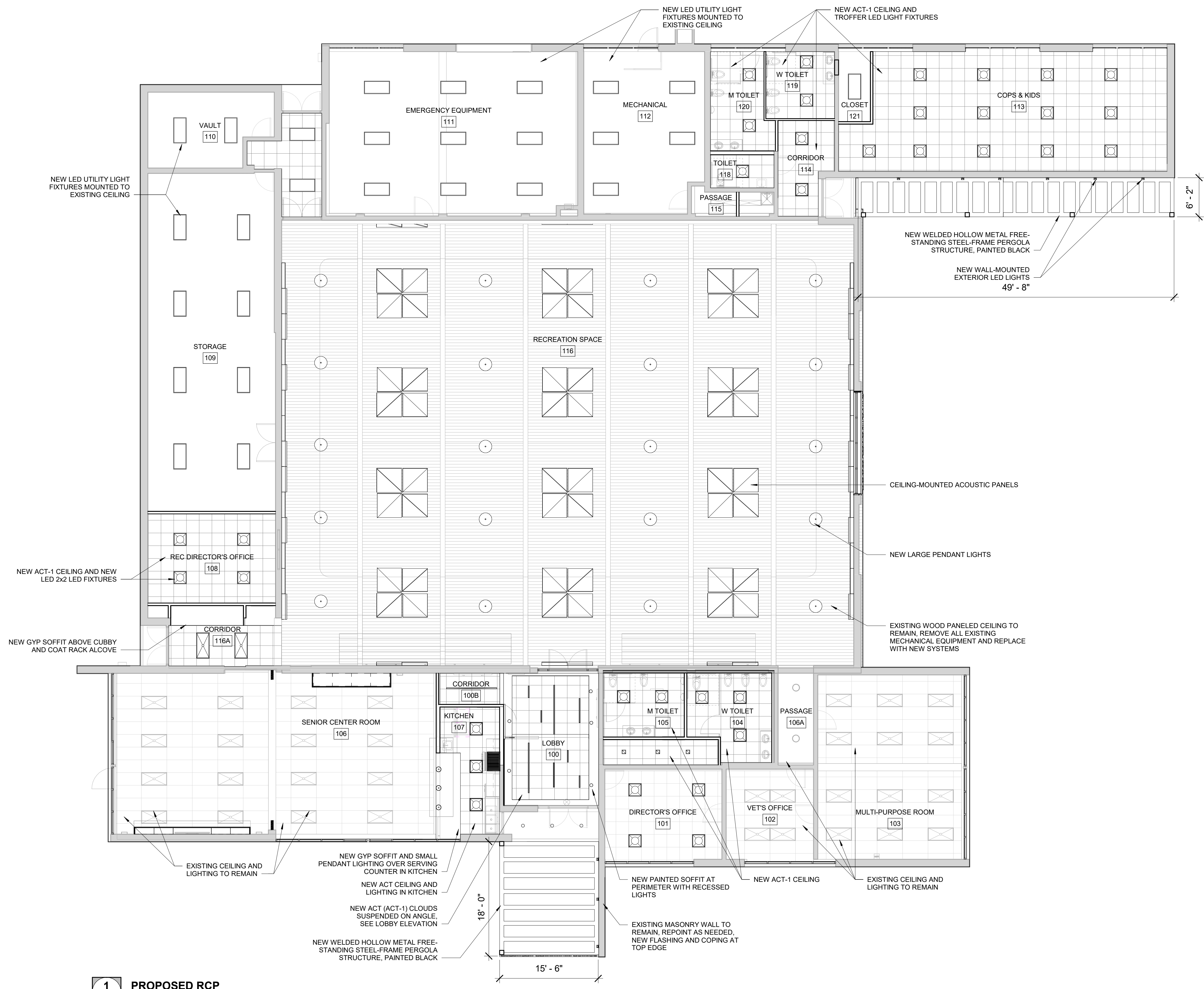


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1 PROPOSED RCP
A1.2 1/8" = 1'-0"

RCP SYMBOL LEGEND

	2 x 4 UTILITY LIGHT
	2 x 2 LED TROFFER
	1' x 1' LED TROFFER
	LARGE PENDANT
	SMALL PENDANT
	RECESSED LINEAR LED
	RECESSED SQUARE / CAN LED
	WALL-MOUNTED OUTDOOR LED
	CEILING MOUNTED ACOUSTICAL PANELS, SEE FINISH SCHEDULE

SUBMISSION SCHEDULE

No.	Name	Date

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153 CHESTNUT ST.
SOUTHBRIDGE, MA

Date: 6/3/25
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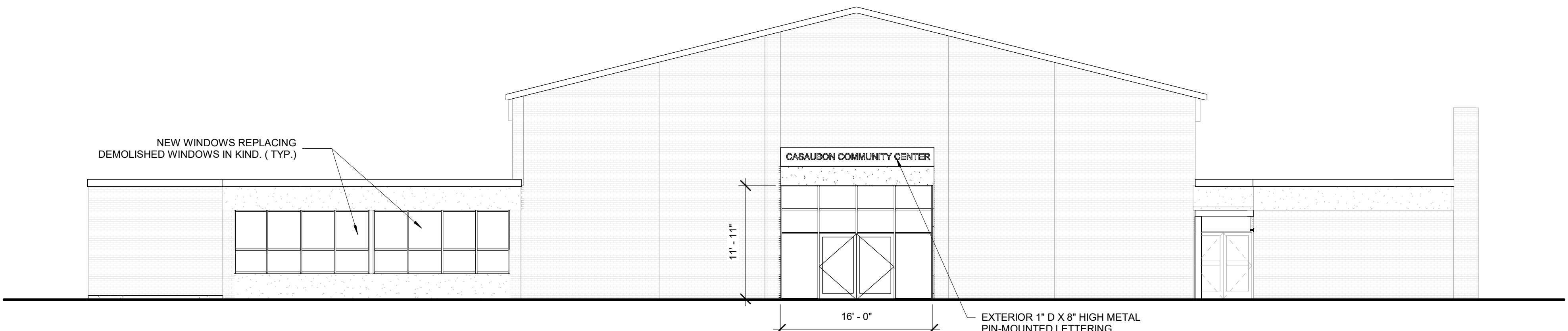
PROPOSED RCP

A1.2

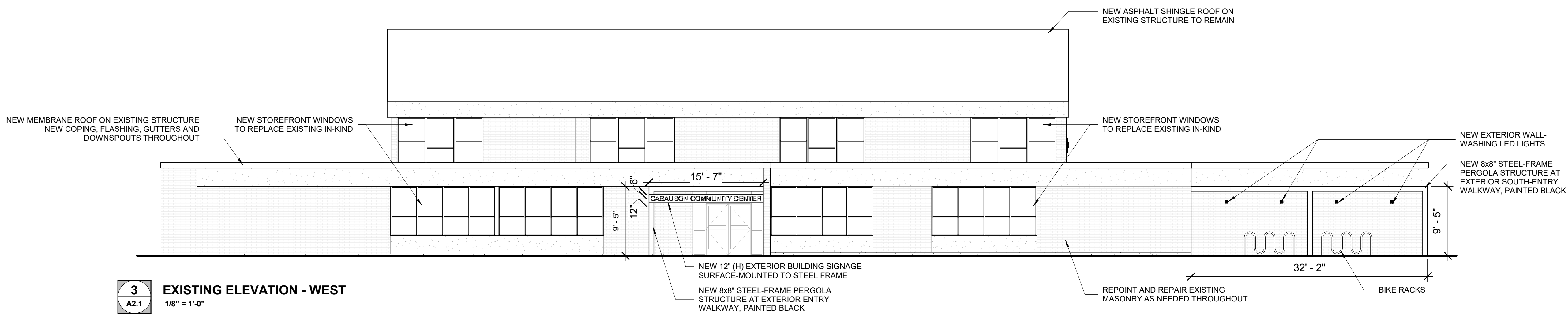
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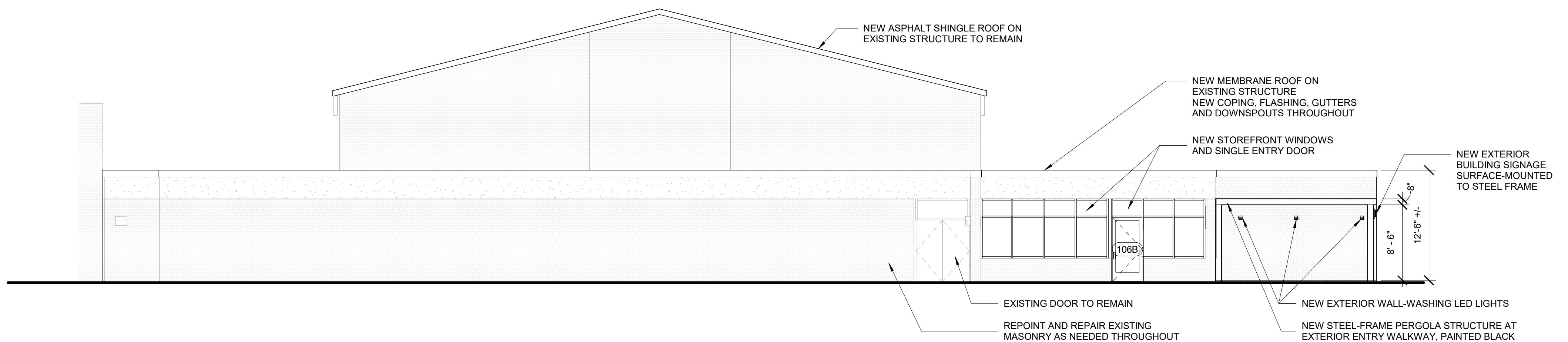
2 EXISTING ELEVATION - EAST
A2.1
1/8" = 1'-0"



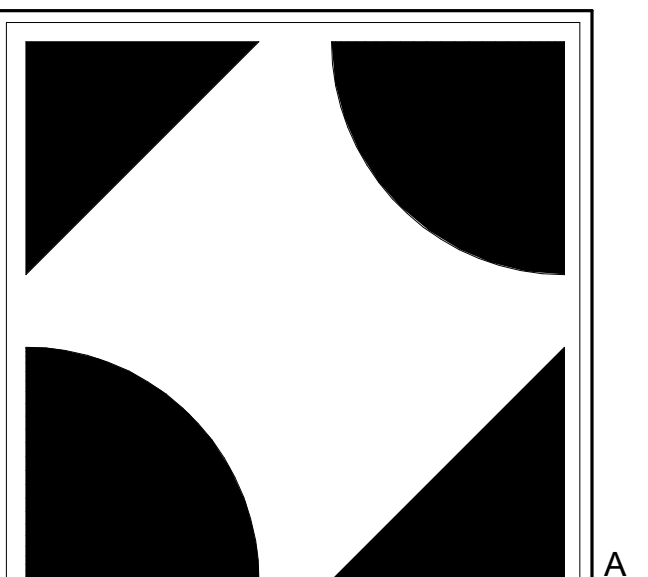
1 EXISTING ELEVATION - SOUTH
A2.1
1/8" = 1'-0"



3 EXISTING ELEVATION - WEST
A2.1
1/8" = 1'-0"



4 EXISTING ELEVATION - NORTH
A2.1
1/8" = 1'-0"



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SIGNAGE REQUIREMENTS
EXTERIOR:
• (2) 1" X 8" METAL PIN-MOUNTED LETTERING TO READ "CASALBON COMMUNITY CENTER". NON-ILLUMINATED

SUBMISSION SCHEDULE

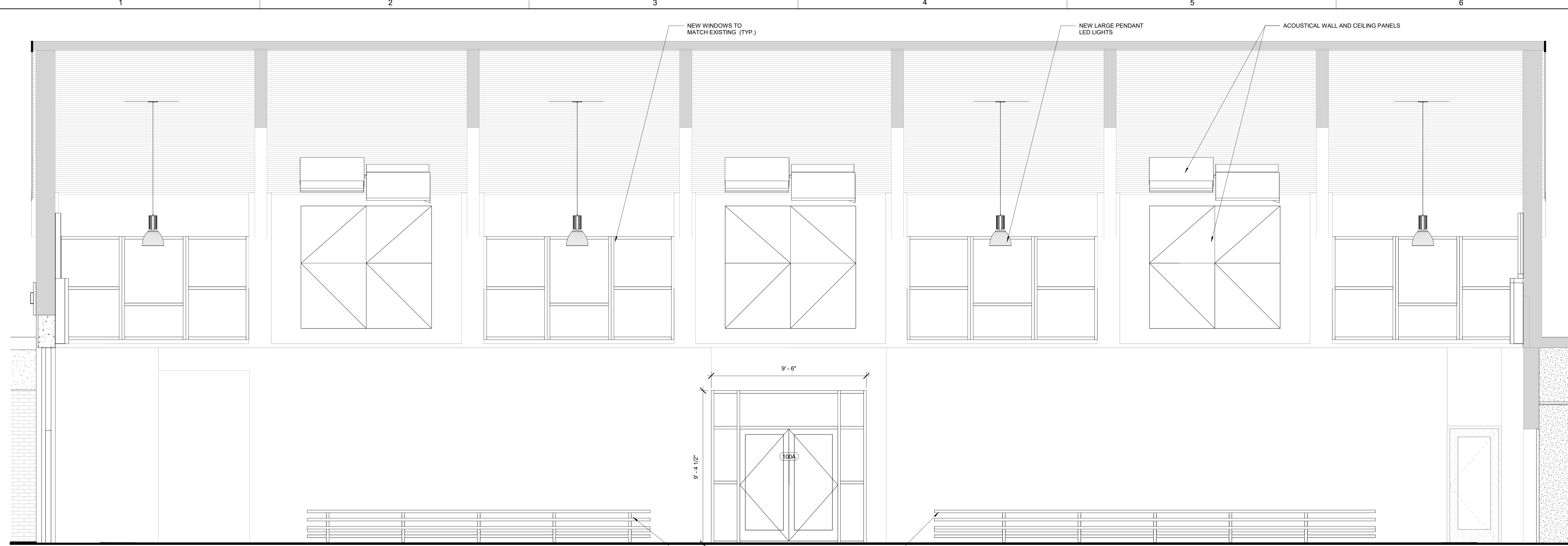
No.	Name	Date

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153 CHESTNUT ST.
SOUTHBRIDGE, MA

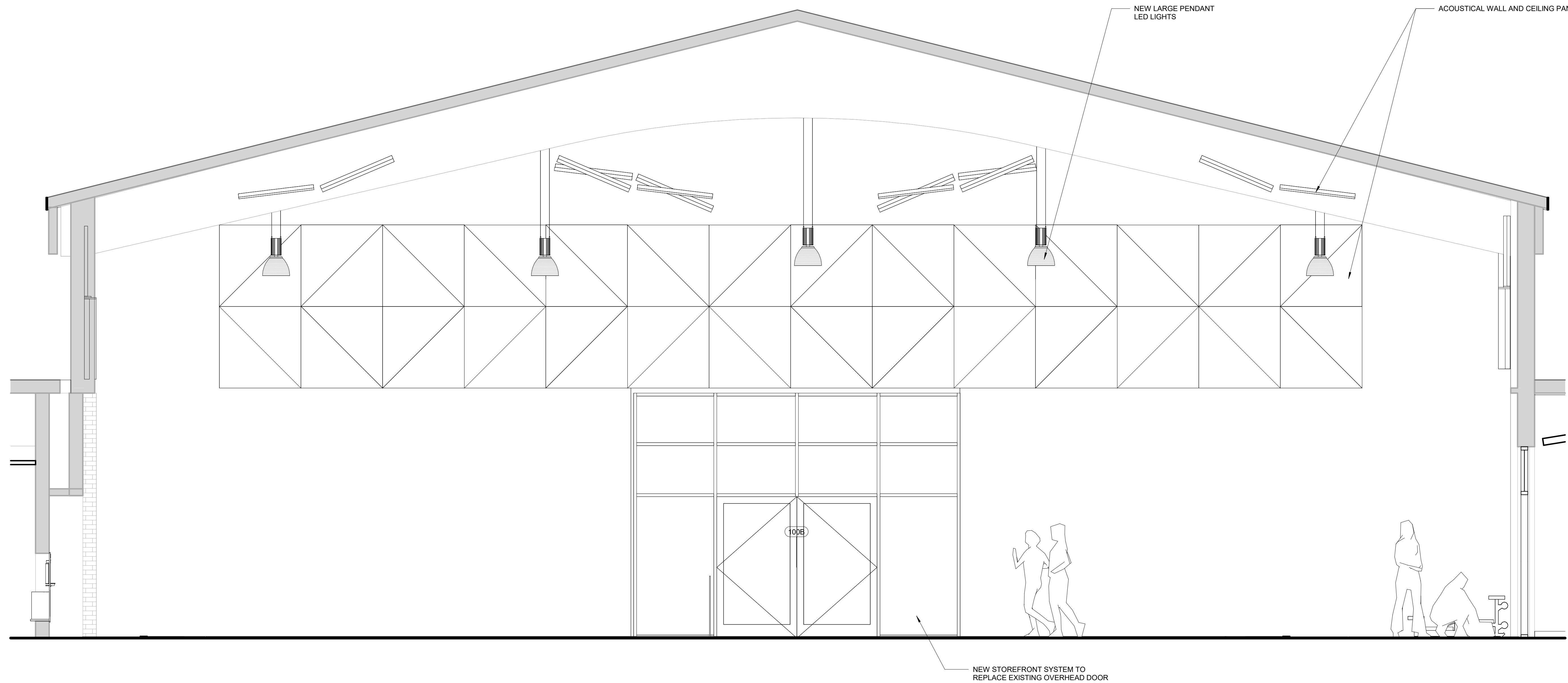
Date: 6/3/25
Project: 24061

PROPOSED EXTERIOR ELEVATIONS

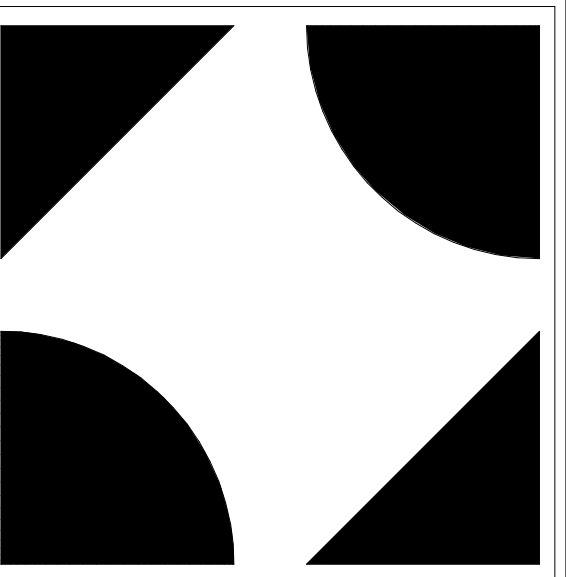
A2.1



1 EXISTING SECTION - EAST / WEST
A3.1
3/8" = 1'-0"



2 EXISTING SECTION - NORTH / SOUTH
A3.1
3/8" = 1'-0"



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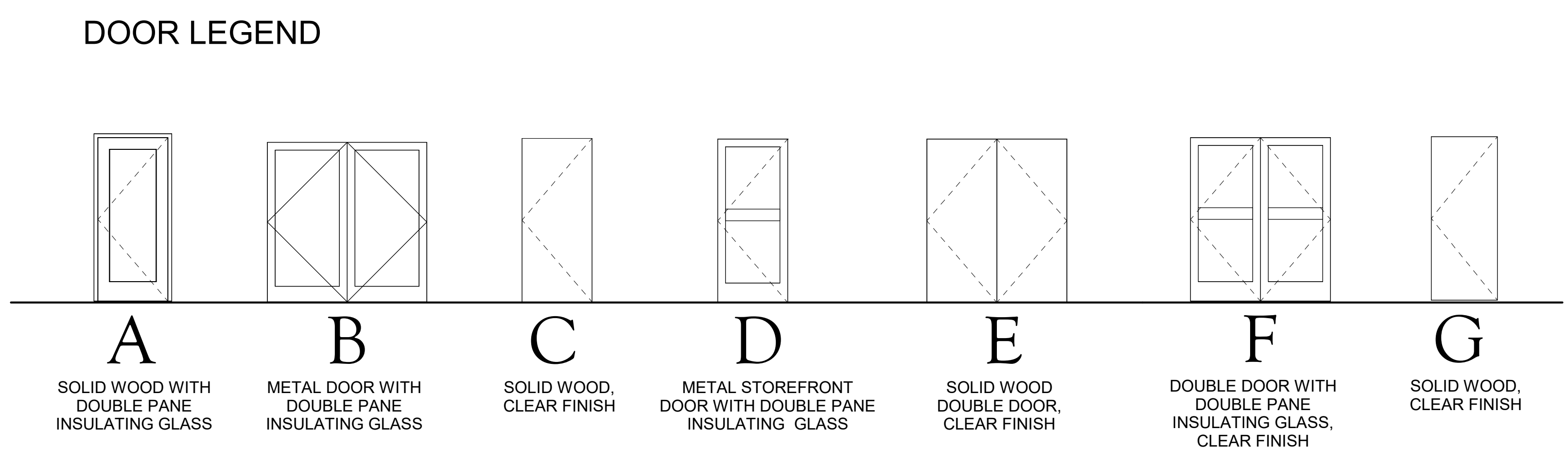
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153 CHESTNUT ST.
SOUTHBRIDGE, MA

Date: 6/3/25
Project: 24061

BUILDING SECTIONS

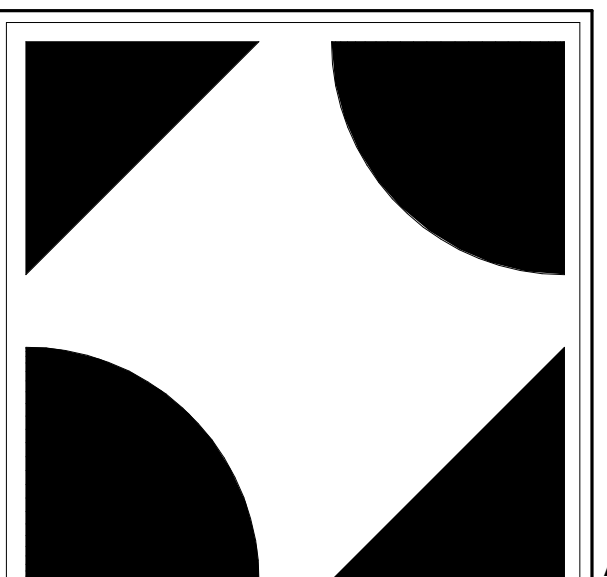
A3.1

MARK	TYPE	DOOR			FRAME		MISC		HARDWARE SET	COMMENTS
		MATERIAL	WIDTH	HEIGHT	THICKNESS	MATERIAL	RATING	GLASS		
100A	B	METAL	6'-0"	6'-10 1/4"	2"	METAL		YES		
100B	B	METAL	7'-10 1/4"	6'-11 1/8"	2"	METAL		YES		
100C	F	ALUMINIUM	6'-0"	7'-0"	2"	METAL		YES		
101	C	WOOD	3'-0"	7'-0"	2"	WOOD		NO		
102A	C	WOOD	3'-0"	7'-0"	2"	WOOD		NO		
102B	C	WOOD	3'-0"	7'-0"	2"	WOOD		NO		
103A	C	WOOD	3'-0"	7'-0"	2"	WOOD		NO		
103B	C	WOOD	3'-0"	7'-0"	2"	WOOD		NO		
104	A	WOOD	3'-0"	7'-0"	1 3/4"	METAL		YES		
105	A	WOOD	3'-0"	7'-0"	1 3/4"	METAL		YES		
106A	A	WOOD	3'-0"	7'-0"	1 3/4"	METAL		YES		
106B	D	METAL STOREFRONT	3'-3 21/32"	7'-2"	1 1/2"	WOOD		YES		
106C	A	WOOD	3'-0"	7'-0"	1 3/4"	METAL		YES		
106D	A	WOOD	3'-0"	7'-0"	1 3/4"	METAL		YES		
107	A	WOOD	3'-0"	7'-0"	1 3/4"	METAL		YES		
108	A	WOOD	3'-0"	7'-0"	1 3/4"	METAL		YES		
109A	E	WOOD	6'-0"	7'-0"	2"	WOOD		NO		
109B	C	WOOD	3'-0"	7'-0"	2"	WOOD		NO		
111	C	WOOD	3'-0"	7'-0"	2"	WOOD		NO		
112	C	WOOD	3'-0"	7'-0"	2"	WOOD		NO		
113	C	WOOD	3'-0"	7'-0"	2"	WOOD		NO		
113	A		3'-0"	7'-0"	1 3/4"					
117	C	WOOD	2'-0"	7'-0"	1 3/4"	METAL		NO		
118	C	WOOD	3'-0"	7'-0"	2"	WOOD		NO		
119	H		3'-0"	7'-0"	1 3/4"					
119	C		3'-0"	7'-0"	2"					
120	H		3'-0"	7'-0"	1 3/4"					
120	C		3'-0"	7'-0"	2"					
121	H		3'-0"	7'-0"	1 3/4"					
Grand total:	29									



CODE	MATERIAL	MANUFACTURER	STYLE / SERIES / MODEL	COLOR	COMMENTS
00-CEILING					
ACP-1	ACOUSTICAL CEILING PANELS	17' 1.57' 2" THICK FELT	SUSPENDED CUSTOM SHAPES	VARIOUS	
ACT-1	ACOUSTICAL CEILING TILE	ARMSTRONG	CLOUDS - 24 X 24 ULTIMA TEGULAR 9/16" SUPRAFINE GRID	WHITE	AXIOM TRIM ON ALL EDGES OF CLOUDS
ACT-2	ACOUSTICAL CEILING TILE	ARMSTRONG	24 X 24 ULTIMA TEGULAR 9/16" SUPRAFINE GRID	WHITE	
ACT-3	ACOUSTICAL CEILING TILE	ARMSTRONG	24 X 24 CALLA TEMPLock 9/16" SUPRAFINE GRID	WHITE	
ACT-4	ACOUSTICAL CEILING TILE	ARMSTRONG	48 X 48 ULTIMA TEGULAR 9/16" SUPRAFINE GRID	WHITE	
ACT-5	ACOUSTICAL CEILING TILE	ARMSTRONG	24 X 48 FINE FISSURED 15/16" LAY IN GRID	WHITE	
01-WALL					
AWP-1	ACOUSTICAL WALL PANELS	17' 1.57' 2" THICK FELT	SURFACE-MOUNTED CUSTOM SHAPES	VARIOUS	
FRP-1	FIBERGLASS REINFORCED PANEL	MARLITE	STANDARD FRP, SMOOTH TEXTURE	TBD	
PNT-1	PAINT - INTERIOR	BENJAMIN MOORE	OFF WHITE COLLECTION	OC-17 WHITE DOVE	GENERAL WALL PAINT - EGGSHELL
PNT-2	PAINT - INTERIOR	BENJAMIN MOORE	COLOR PREVIEW COLLECTION	211-48 BARREN PLAIN	TRIM PAINT - SEMI-GLOSS
PNT-3	PAINT - INTERIOR	BENJAMIN MOORE	COLOR PREVIEW COLLECTION	TBD	ACCENT WALL PAINT - EGGSHELL
PNT-4	PAINT - INTERIOR	BENJAMIN MOORE	COLOR PREVIEW COLLECTION	TBD	ACCENT WALL PAINT - EGGSHELL
PWT-1	WALL TILE	AMERICAN OLEAN	2 X 8 CONRAD BRICK - GLAZED PORCELAIN	TBD	
PWT-2	WALL TILE	AMERICAN OLEAN	8 X 8 GRAPHIC- GLAZED PORCELAIN	TBD	
02-BASE					
RWB-1	RUBBER BASE	JOHNSONITE	RUBBER BASE (4" H)	TBD	COVERED WITH RESILIENT/ STRAIGHT WITH CARPET
TCB-1	TILE COVE BASE	TBD	6 X 12 QUARRY TILE	TBD	3" X 12"
03-FLOOR					
CON-1	SEALED CONCRETE	XX	XX	XX	XX
CPT-1	ENTRY CARPET TILE	INTERFACE	STEP AND REPEAT/ SR899	104939 GRANITE	MONOLITHIC INSTALL
CPT-2	CARPET TILE	INTERFACE	WORLD WOVEN WW886	#103216 PLATEAU WEAVE	25 CM X 1 M / ASHLAR INSTALL
LVP-1	LUXURY VINYL PLANK	INTERFACE	NORTHERN GRAY - A02611	OAK SATIN	25 CM X 1M / ASHLAR INSTALL
PFT-1	PORCELAIN FLOOR TILE	TBD	12 X 24 SLIP-RESISTANT	TBD	
QFT-2	QUARRY FLOOR TILE	TBD	6 X 6 QUARRY TILE	TBD	
RUB-1	PRE-FAB RUBBER JOGGING & WALKING TRACK	6" WIDE WITH LINES	MONDO/ SUPER X PERFORMANCE	TBD	TRANSITION STRIP AT ALL EXPOSED EDGES
04-MISC.					
MTL-1	METAL LAMINATE	CHEMETAL	METAL LAMINATE ADHERED TO 3/4" PLYWOOD PANEL	#717 BRUSHED BLACK ALUMINUM	MILLWORK GATE/ ALTERNATE AT SALVAGED CHALKBOARD PANELS
PLM-1	PLASTIC LAMINATE	WILSONART	LANDMARK WOOD 7981K-12	SOFTGRAN FINISH	CABINETS/ MILLWORK WHERE INDICATED
PLM-2	PLASTIC LAMINATE	WILSONART	CLASSIC LINEN 4943-38	FINE VELVET FINISH	CABINETS/ MILLWORK COUNTERTOPS WHERE INDICATED
PLM-3	PLASTIC LAMINATE	WILSONART	FRENCH LINEN 5016-38	FINE VELVET FINISH	COUNTERTOPS WHERE INDICATED
QTZ-1	QUARTZ COUNTER	WILSONART	QUARTZ	NOVA SERRANA Q4068	COUNTERS WHERE INDICATED
SCL-1	TILE COVE TRIM	SCHLUTER	DILEX	AT - SATIN NICKEL ANODIZED ALUMINUM	
SCL-2	TILE EDGE TRIM	AMERICAN OLEAN	JOLLY	CONRAD BRICK	
SSM-1	SOLID SURFACE MATERIAL	WILSONART	SOLID SURFACE	DESIGNER WHITE D364SL	WINDOWSKILLS THROUGHOUT/ COUNTERTOPS AS INDICATED
WIN-1	WINDOW SHADES - MANUAL	SINGLE ROLLER	SUN FILTERING ROLLER SHADES	TBD	SEE PROJECT MANUAL FOR SPECIFICATION.
WIN-2	WINDOW SHADES - MANUAL	SINGLE ROLLER	INTERIOR PRIVACY ROLLER SHADES	TBD	SEE PROJECT MANUAL FOR SPECIFICATION.

NUMBER	ROOM	NAME	FLOOR		BASE		WALLS		CEILINGS		WINDOW TREATMENT	COMMENTS
			MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
100	LOBBY	ENTRY CARPET TILE	CPT-1	RUBBER WALL BASE	RWB-1	PAINT			ACT/ PAINT	ACT-1	NONE	ACT CLOUDS SUSPENDED AT ANGLE/ PAINTED STRUCTURE ABOVE
101	DIRECTOR'S OFFICE	CARPET TILE	CPT-2	RUBBER WALL BASE	RWB-1	PAINT			ACOUSTICAL CEILING TILE	ACT-2	WIN-1	
102	VETS OFFICE	CARPET TILE	CPT-2	RUBBER WALL BASE	RWB-1	PAINT			EXISTING TO REMAIN	N/A	WIN-1	
103	MULTI-PURPOSE ROOM	LUXURY VINYL TILE	LVT-1	RUBBER WALL BASE	RWB-1	PAINT			EXISTING TO REMAIN	N/A	WIN-1	
104	W TOILET	PORCELAIN FLOOR TILE	PFT-1	SCHLUTER COVER TRIM	SCL-1	PORCELAIN WALL TILE/ PAINT	PWT-1/ PNT-1		ACOUSTICAL CEILING TILE	ACT-3	NONE	WALL TILE TO 60" A.F.F / HDPE FLOOR MOUNTED PARTITIONS
105	M TOILET	PORCELAIN FLOOR TILE	PFT-1	SCHLUTER COVER TRIM	SCL-1	PORCELAIN WALL TILE/ PAINT	PWT-1/ PNT-1		ACOUSTICAL CEILING TILE	ACT-3	NONE	WALL TILE TO 60" A.F.F / HDPE FLOOR MOUNTED PARTITIONS
106	SENIOR CENTER ROOM	LUXURY VINYL PLANK	LVP-1	RUBBER WALL BASE	RWB-1	PORCELAIN WALL TILE/ PAINT	PWT-2/ PNT-1, 3		EXISTING TO REMAIN / NEW GYP SOFFITS	N/A	WIN-1	
106A	PASSAGE	LUXURY VINYL PLANK	LVP-1	RUBBER WALL BASE	RWB-1	PAINT			EXISTING GWB	PAINT	NONE	
107	KITCHEN	QUARRY FLOOR TILE	QFT-1	TILE COVE BASE	TCB-1	FIBERGLASS REINFORCED PANEL	FRP-1		ACOUSTICAL CEILING TILE	ACT-3	WIN-1	FRP FULL HEIGHT
108	REC DIRECTOR'S OFFICE	LUXURY VINYL PLANK	LVP-1	RUBBER WALL BASE	RWB-1	PAINT			ACOUSTICAL CEILING TILE	ACT-2	WIN-2	
109	STORAGE	SEALED CONCRETE	CON-1	RUBBER WALL BASE	RWB-1	PAINT		PNT-1	EXPOSED TO STRUCTURE	PAINT	NONE	
110	VAULT	SEALED CONCRETE	CON-1	RUBBER WALL BASE	RWB-1	PAINT		PNT-1	EXPOSED TO STRUCTURE	PAINT	NONE	
110A	CORRIDOR	ENTRY CARPET TILE	CPT-1	RUBBER WALL BASE	RWB-1	PAINT		PNT-1	ACOUSTICAL CEILING TILE	ACT-2	NONE	
111	EMERGENCY EQUIPMENT	SEALED CONCRETE	CON-1	RUBBER WALL BASE	RWB-1	PAINT		PNT-1	EXPOSED TO STRUCTURE	PAINT	NONE	
112	MECHANICAL	SEALED CONCRETE	CON-1	RUBBER WALL BASE	RWB-1	PAINT		PNT-1	EXPOSED TO STRUCTURE	PAINT	NONE	
113	COPS & KIDS	LUXURY VINYL PLANK	LVP-1	RUBBER WALL BASE	RWB-1	PAINT		PNT-1, 3, 4	ACOUSTICAL CEILING TILE	ACT-2	NONE	
114	CORRIDOR	ENTRY CARPET TILE	CPT-1	RUBBER WALL BASE	RWB-1	PAINT		PNT-1	ACOUSTICAL CEILING TILE	ACT-2	NONE	
115	PASSAGE	SEALED CONCRETE	CON-1	RUBBER WALL BASE	RWB-1	PAINT		PNT-1	EXPOSED TO STRUCTURE	PAINT	NONE	
116	RECREATION SPACE	EXISTING WOOD FLOOR - REFINISHED/ ALT: RUBBER TRACK	ETR/ RUB-1	RUBBER WALL BASE	RWB-1	PAINT/ ACOUSTICAL PANELS	PNT-1, 3, 4/ AWP-1		EXISTING TO REMAIN/ ACOUSTICAL PANELS	ACP-1	NONE	REFINISH EXISTING WOOD GYM FLOOR AND PAINT SPORT LINES. ALTERNATE: RUBBER WALKING TRACK
117	JC	SEALED CONCRETE	CON-1	RUBBER WALL BASE	RWB-1	FIBERGLASS REINFORCED PANEL	FRP-1		EXPOSED TO STRUCTURE	N/A	NONE	
118	TOILET	PORCELAIN FLOOR TILE	PFT-1	SCHLUTER COVER TRIM	SCL-1	PORCELAIN WALL TILE/ PAINT	PWT-1/ PNT-1		ACOUSTICAL CEILING TILE	ACT-3	NONE	WALL TILE TO 60" A.F.F / HDPE FLOOR MOUNTED PARTITIONS
119	W TOILET	PORCELAIN FLOOR TILE	PFT-1	SCHLUTER COVER TRIM	SCL-1	PORCELAIN WALL TILE/ PAINT	PWT-1/ PNT-1		ACOUSTICAL CEILING TILE	ACT-3	NONE	WALL TILE TO 60" A.F.F / HDPE FLOOR MOUNTED PARTITIONS
120	M TOILET	PORCELAIN FLOOR TILE	PFT-1	SCHLUTER COVER TRIM	SCL-1	PORCELAIN WALL TILE/ PAINT	PWT-1/ PNT-1		ACOUSTICAL CEILING TILE	ACT-3	NONE	WALL TILE TO 60" A.F.F / HDPE FLOOR MOUNTED PARTITIONS
121	CLOSET	LUXURY VINYL PLANK	LVP-1	RUBBER WALL BASE	RWB-1	PAINT		PNT-1	ACOUSTICAL CEILING TILE	N/A	NONE	



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SUBMISSION SCHEDULE

No.	Name	Date

SOUTHBRIDGE FACILITIES STUDY
153 CHESTNUT ST.
SOUTHBRIDGE, MA

Date: 6/3/25
Project: 24061

SCHEDULES

A5.1

APPENDIX 3

COST ESTIMATE

06.15.2025

Southbridge Casaubon Community Center
Facilities Feasibility Study



Structures by Design, Inc.
for Kuhn Riddle Architects

Summary Division		Tier I	Tier II	Total
1	General Requirements	\$ 195,796	\$ 49,144	\$ 244,940
2	Existing Conditions	\$ 230,104	\$ 4,860	\$ 234,964
3	Concrete	\$ 10,840	\$ 6,000	\$ 16,840
4	Masonry	\$ 101,486	\$ 7,040	\$ 108,526
5	Metals	\$ -	\$ 48,700	\$ 48,700
6	Wood & Plastics	\$ 24,635	\$ 114,198	\$ 122,603
7	Thermal & Moisture Protection	\$ 570,934	\$ -	\$ 570,934
8	Openings	\$ 362,685	\$ 50,550	\$ 413,235
9	Finishes	\$ 140,711	\$ 251,634	\$ 392,344
10	Specialties	\$ 54,508	\$ 12,025	\$ 66,533
11	Equipment	\$ -	\$ 500	\$ 500
12	Furnishings	\$ 9,408	\$ -	\$ 9,408
21	Fire Protection	\$ 248,944	\$ -	\$ 248,944
22	Plumbing	\$ 242,300	\$ -	\$ 242,300
23	HVAC	\$ 946,840	\$ -	\$ 946,840
26	Electrical	\$ 312,977	\$ -	\$ 312,977
28	Electronic Safety and Security	\$ 93,354	\$ -	\$ 93,354
31	Earthwork	\$ 18,672	\$ 2,436	\$ 21,108
32	Site Improvements	\$ 117,956	\$ 80,800	\$ 198,756
33	Utilities	\$ 30,000	\$ -	\$ 30,000
Subtotal		\$ 3,712,149	\$ 627,886	\$ 4,323,805
General Requirements (office) 7.0%		\$ 259,850	\$ 43,952	\$ 302,666
Subtotal		\$ 3,972,000	\$ 671,838	\$ 4,626,472
Bonds and Insurance 2.5%		\$ 99,300	\$ 16,796	\$ 115,662
Subtotal		\$ 4,071,300	\$ 688,634	\$ 4,742,134
Permits 2.0%		\$ 81,426	\$ 13,773	\$ 94,843
Subtotal		\$ 4,152,726	\$ 702,407	\$ 4,836,976
Profit 10.0%		407,130	68,863	474,213
Subtotal		\$ 4,559,856	\$ 771,270	\$ 5,311,190
Escalation to Mid-Point 5.00%		227,993	38,564	265,559
Subtotal		\$ 4,787,848	\$ 809,834	\$ 5,576,749
Design/Estimating Contingency 20.0%		911,971	154,254	1,062,238
TOTAL 1.54		\$ 5,699,819	\$ 964,088	\$ 6,638,987

Alternate 1 Rubber Walking Track ADD

Subtotal Itemization		\$ 29,101	\$ -	\$ 29,101
TOTAL Including Markup 1.54		\$ 44,684	\$ -	\$ 44,684
TOTAL Tiers I & II, Including Alternate		\$ 5,744,503	\$ 964,088	\$ 6,708,591

		cost/sf
Tiers I & II Bldg Square Footage	15559	\$ 427

continued

General Notes

- 1 Cost estimate reflects current bidding climate. Add for future inflation.
- 2 Cost estimate is not intended to reflect a low bid, but rather a mid-range cost, assuming competitive bids.
- 3 Cost does not factor possible future material shortages, if relevant.
- 4 It is assumed that the project area will be unoccupied for the duration of construction.
- 5 Construction duration-one year.
- 6 Construction start: to be determined.

TIER III - Future Expansion

Addition	sf	1965	cost/sf	\$ 850	\$ 1,670,250
Inflation		2 years		10%	\$ 167,025
Total					\$ 1,837,275

Tier III Notes

- 1 Tier III cost shown reflects average current construction costs for building additions. Actual costs will be within a range of this estimate, as project scopes can vary significantly.
- 2 Inflation factor is included for two to start two years from the date of this estimate.

TOTAL Tiers I & II & III	\$ 8,545,866
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Legend

cy	cubic yard
ea	each
fsb	filed sub-bid
ls	lump sum
sf	square foot
sy	square yard



Study 1.2

Itemization

Unit	Mtl	Labor	Equip.	Tier I		Tier II		Combined
				Qty	Subtotal	Qty	Subtotal	Subtotal

Div 01 General Requirements (on-site)

superintendent	wk	0.00	2,200	-	40	\$ 88,000	12	\$ 26,400	\$ 114,400
temporary toilet	mo	0	0	220	10	\$ 2,200	2	\$ 440	\$ 2,640
waste management	ea		0	26000	0.84	\$ 21,840	0.16	\$ 4,160	\$ 26,000
field office	ls		0	8000	0.84	\$ 6,720	0.16	\$ 1,280	\$ 8,000
product storage	ls		0	2400	0.84	\$ 2,016	0.16	\$ 384	\$ 2,400
temporary fencing	ls		7000	3000	0.84	\$ 8,400	0.16	\$ 1,600	\$ 10,000
protective barriers	ls		5000	3000	0.84	\$ 6,720	0.16	\$ 1,280	\$ 8,000
materials testing	ls	0	6000	0	0.84	\$ 5,040	0.16	\$ 960	\$ 6,000
hoisting equipment+labor	ls	0	15000	12000	0.84	\$ 22,680	0.16	\$ 4,320	\$ 27,000
personnel protective equipment	ls	0	6000	0	0.84	\$ 5,040	0.16	\$ 960	\$ 6,000
daily cleaning	day	0	100	0	200	\$ 20,000	60	\$ 6,000	\$ 26,000
final cleaning	ls	500	8000	0	1	\$ 7,140	0	\$ 1,360	\$ 8,500
subtotal						\$ 195,796		\$ 49,144	\$ 244,940

Div 02 Existing Conditions

hazardous materials

hazardous materials budget	sf	8000	192000	-	1	200,000	0	\$ -	\$ 200,000
subtotal						\$ 200,000		\$ -	\$ 200,000

demolition

restrooms	sf	0	8	-	1,188	9,504	-	\$ -	\$ 9,504
interior doors	ea	0	100	-	-	-	6.0	\$ 600	\$ 600
interior partitions	ls	0	8	-	700	5,600	95.0	\$ 760	\$ 6,360
cabinetry+misc.	ls	0	3000	-	-	-	1.0	\$ 3,000	\$ 3,000
kitchen equipment	ls	0	500	-	-	-	1.0	\$ 500	\$ 500
subtotal						\$ 15,104		\$ 4,860	\$ 19,964

modify existing conditions

cut floor+trench+infill for new sanitary lines	ls	0	15000	-	1	15,000	-	\$ -	\$ 15,000
subtotal						\$ 15,000		\$ -	\$ 15,000

subtotal						\$ 230,104		\$ 4,860	\$ 234,964
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Div 03 Concrete

pergola concrete footing	ea	300	700	-	-	-	6	\$ 6,000	\$ 6,000
repair sidewalk at pergola	ls	3	7	-	334	3,340	-	\$ -	\$ 3,340
infill concrete floor trench	ls	1500	6000	-	1	7,500	-	\$ -	\$ 7,500
subtotal						\$ 10,840		\$ 6,000	\$ 16,840

Div 04 Masonry

interior cut+brace new interior openings+lintels	sf	6	16	-	-	-	320	\$ 7,040	\$ 7,040
infill masonry east wall	sf	9	55	-	24	1,536	-	\$ -	\$ 1,536
repoint masonry-assume 25%	sf	1	7	-	7,800	60,450	-	\$ -	\$ 60,450
repair masonry-assume 500 sf	sf	4	75	-	500	39,500	-	\$ -	\$ 39,500
subtotal						\$ 101,486		\$ 7,040	\$ 108,526



Study 1.2

Itemization

Unit	Mtl	Labor	Equip.	Tier I		Tier II		Combined
				Qty	Subtotal	Qty	Subtotal	Subtotal

Div 05 Metals

steel frame pergola structure, painted black	lf	80	35	3	-	-	400	\$ 47,200	\$ 47,200
plates+hardware	ls	1500	-	-	-	-	1	\$ 1,500	\$ 1,500
subtotal						\$ -		\$ 48,700	\$ 48,700

Div 06 Wood & Plastics

general

wood blocking	ls	200	1500			1	\$ 1,700	1	\$ 1,700	\$ 3,400
subtotal						\$ 1,700		\$ 1,700	\$ 3,400	

millwork

lobby countertop+support	lf	65	85			0	\$ -	5	\$ 750	\$ 750
<i>add quartz trim</i>	lf	60	75					5.5	\$ 743	\$ 743
lobby plexiglass partition	ls	500	300			0	\$ -	1	\$ 800	\$ 800
lobby quarter-sawn oak panel	sf	20	5			0	\$ -	102	\$ 2,550	\$ 2,550
<i>add metal base</i>	lf	20	90			0	\$ -	12	\$ 1,320	\$ 1,320
corridor cubbies	cf	500	15			0	\$ -	9	\$ 4,635	\$ 4,635
<i>includes blank panel</i>										\$ -
senior center wall cabinets	cf	300	15			0	\$ -	300	\$ 94,500	\$ 94,500
toilet room vanity	sf	160.00	120.00			40	\$ 11,200			4800
countertop solid surface ss-1	sf	40.00	20.00			37	\$ 2,220			740
base cabinet	lf	350.00	25.00			17	\$ 6,375			425
wall cabinet	lf	200.00	20.00			7	\$ 1,540			140
hardware, supports	ls	1000.00	600.00			1	\$ 1,600			600
kitchen cabinetry	lf	700	100			0	\$ -	9	\$ 7,200	\$ 7,200
subtotal						\$ 22,935		\$ 112,498	\$ 119,203	

subtotal						\$ 24,635		\$ 114,198	\$ 122,603
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Div 07 Thermal & Moisture Protection

roofing - membrane

membrane roofing system	sf	13.00	25.00	-	9250	\$ 351,500	0	\$ -	\$ 351,500
<i>demolition included</i>							0	\$ -	\$ -
gutters	ls	10.00	12.00	-	186	\$ 4,092	0	\$ -	\$ 4,092
downspouts	ls	11.00	10.00	-	108	\$ 2,268	0	\$ -	\$ 2,268
subtotal						\$ 357,860		\$ -	\$ 357,860

roofing - asphalt

asphalt roofing system	sf	12.00	17.00	-	7138	\$ 207,002	0	\$ -	\$ 207,002
<i>demolition included</i>					1		0	\$ -	\$ -
gutters	lf	8.00	10.00	-	190	\$ 3,420	0	\$ -	\$ 3,420
downspouts	lf	9.00	8.00	-	156	\$ 2,652	0	\$ -	\$ 2,652
subtotal						\$ 213,074		\$ -	\$ 213,074



Study 1.2

Itemization

	Unit	Mtl	Labor	Equip.	Tier I		Tier II		Combined
					Qty	Subtotal	Qty	Subtotal	Subtotal
misc. sealants									
<i>sealants included in respective trades</i>									
						\$ -		\$ -	\$ -
subtotal						\$ -		\$ -	\$ -
subtotal						\$ 570,934		\$ -	\$ 570,934

Div 08 Openings

general+demolition

<i>demo exterior</i>									
windows+doors+overhead door	sf	0	5	-	1997	\$ 9,985	0	\$ -	\$ 9,985
demo exterior doors	ea	0	150	-	1	\$ 150	0	\$ -	\$ 150
demo interior doors	ea	0	150	-	0	\$ -	6	\$ 900	\$ 900
subtotal						\$ 10,135		\$ 900	\$ 11,035

exterior openings

storefront windows+doors	sf	150	15	-	1997	\$ 329,505	0	\$ -	\$ 329,505
subtotal						\$ 329,505		\$ -	\$ 329,505

interior openings

new door+frame+hardware	ea	3100	400		5	\$ 17,500	14	\$ 49,000	\$ 66,500
kitchen swinging gate	ea	500	150		0	\$ -	1	\$ 650	\$ 650
subtotal						\$ 17,500		\$ 49,650	\$ 67,150

hardware+glazing

door hardware budget	ea	600	125		24	\$ 17,400	0	\$ -	\$ 17,400
door glazing budget	sf	65	10		60	\$ 4,500	0	\$ -	\$ 4,500
support	sf	85	10		11	\$ 1,045	0	\$ -	\$ 1,045
subtotal						\$ 5,545		\$ -	\$ 5,545

subtotal						\$ 362,685		\$ 50,550	\$ 413,235
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Div 09 Finishes

general trades

patch existing floor+wall finishes	ls	500	5000		0	\$ -	1	\$ 5,500	\$ 5,500
patch existing gym ceiling	ls	500	2500		0	\$ -	1	\$ 3,000	\$ 3,000
subtotal						\$ -		\$ 8,500	\$ 8,500



Study 1.2

Itemization

	Unit	Mtl	Labor	Equip.	Tier I		Tier II		Combined
					Qty	Subtotal	Qty	Subtotal	Subtotal
flooring+base									
	prep floor for finishes	sf	0.50	1.00	695	\$ 1,043	14800	\$ 22,200	\$ 23,243
fsb	entry carpet tile	sf	24.00	10.50	0	\$ -	689	\$ 23,771	\$ 23,771
fsb	carpet tile	sf	22.50	10.50	0	\$ -	460	\$ 15,180	\$ 15,180
fsb	luxury vinyl tile	sf	9.00	4.15	0	\$ -	750	\$ 9,863	\$ 9,863
fsb	luxury vinyl plank	sf	9.76	4.15	0	\$ -	2736	\$ 38,058	\$ 38,058
fsb	quarry floor tile	sf	1.50	4.50	0	\$ -	185	\$ 1,110	\$ 1,110
fsb	porcelain tile	sf	10.00	6.00	589	\$ 9,424	0	\$ -	\$ 9,424
fsb	gym refinish floor	sf	1.50	3.00	6288	\$ 28,296	0	\$ -	\$ 28,296
fsb	paint custom court lines	ls	200.00	800.00	1	\$ 1,000	0	\$ -	\$ 1,000
fsb	paint walking track lines	ls	200.00	800.00	1	\$ 1,000	0	\$ -	\$ 1,000
fsb	sealed concrete	sf	2.50	2.25	0	\$ -	2832	\$ 13,452	\$ 13,452
fsb	schluter cover base trim	lf	6.00	3.00	223	\$ 2,007	0	\$ -	\$ 2,007
fsb	tile cove base	lf	8.50	9.50	0	\$ -	58	\$ 1,044	\$ 1,044
fsb	rubber base	lf	3.20	4.50	0	\$ -	1360	\$ 10,472	\$ 10,472
	subtotal					\$ 42,770		\$ 135,149	\$ 177,918
walls									
	steel stud wall framing	sf	4	6	1200	\$ 12,000	950	\$ 9,500	\$ 21,500
	acoustic wall insulation	sf	1	1.50	1180	\$ 2,950	730	\$ 1,825	\$ 4,775
	gypsum wallboard	sf	4	6	1860	\$ 18,600	1900	\$ 19,000	\$ 37,600
	backer board for tile	sf	2	7	589	\$ 5,301	120	\$ 1,080	\$ 6,381
	fiber-reinforced panel	sf	3	6	0	\$ -	480	\$ 4,320	\$ 4,320
fsb	acoustical wall panel	sf	14.00	6.00	0	\$ -	650	\$ 13,000	\$ 13,000
fsb	porcelain tile-5' height	sf	10.00	7.00	990	\$ 16,830	0	\$ -	\$ 16,830
fsb	porcelain tile-full height	sf	10.00	7.00	0	\$ -	120	\$ 2,040	\$ 2,040
fsb	gym paint	sf	1.50	2.00	5400	\$ 18,900	0	\$ -	\$ 18,900
	subtotal					\$ 74,581		\$ 50,765	\$ 125,346
ceiling									
	soffit-wallboard+supports	sf	14	7.00	0	\$ -	180	\$ 3,780	\$ 3,780
fsb	suspended acoustic tile acp-1	sf	12	4.00	720	\$ 11,520	0	\$ -	\$ 11,520
fsb	ceiling cloud act-1	sf	14	6.00	0	\$ -	300	\$ 6,000	\$ 6,000
fsb	suspended acoustic tile act-2	sf	14	6.00	592	\$ 11,840	2322	\$ 46,440	\$ 58,280
fsb	paint	sf	1.50	2.50	0	\$ -	250	\$ 1,000	\$ 1,000
	subtotal					\$ 23,360		\$ 57,220	\$ 80,580
	subtotal					\$ 140,711		\$ 251,634	\$ 392,344



Study 1.2

Itemization

Div 10 Specialties

	Unit	Mtl	Labor	Equip.	Tier I		Tier II		Combined
					Qty	Subtotal	Qty	Subtotal	Subtotal
exterior signage	ls	4000	2000		1	\$ 6,000	0	\$ -	\$ 6,000
exterior building signage	ea	110	25		46	\$ 6,210	0	\$ -	\$ 6,210
interior directional signage	ea	95	20		19	\$ 2,185	0	\$ -	\$ 2,185
interior door signage	ea	95	20		10	\$ 1,150	0	\$ -	\$ 1,150
4" metal pin-mounted letter	ea	40	22		19	\$ 1,178	0	\$ -	\$ 1,178
graphics budget	ls	4000.00	1000.00		0	\$ -	1	\$ 5,000	\$ 5,000
72x48 enclosed display case	ea	2000	200		0	\$ -	2	\$ 4,400	\$ 4,400
42" custom plaque	ea	1700	150		0	\$ -	1	\$ 1,850	\$ 1,850
display by owner, install by gc	ls	0	100		0	\$ -	1	\$ 100	\$ 100
metal coat rack+shelf	ea	600	75		0	\$ -	1	\$ 675	\$ 675
subtotal						\$ 16,723		\$ 12,025	\$ 28,748

toilet partitons+accessories

toilet partition	ea	1800.00	300.00		11	\$ 23,100	0	\$ -	\$ 23,100
urinal screen	ea	600.00	150.00		3	\$ 2,250	0	\$ -	\$ 2,250
hand dryer installed by electrical	ea	900.00	0.00		2	\$ 1,800	0	\$ -	\$ 1,800
<i>add recess kit, installed by electrical</i>	ea	90.00	0.00		2	\$ 180	0	\$ -	\$ 180
dispenser receptacle-paper towel	ea	150.00	40.00		3	\$ 570	0	\$ -	\$ 570
waste receptacle	ea	150.00	40.00		5	\$ 950	0	\$ -	\$ 950
mirror	sf	300.00	75.00		9	\$ 3,375	0	\$ -	\$ 3,375
soap dispenser	ea	50.00	35.00		5	\$ 425	0	\$ -	\$ 425
toilet tissue dispenser	ea	100.00	25.00		12	\$ 1,500	0	\$ -	\$ 1,500
sanitary napkin disposal	ea	125.00	30.00		5	\$ 775	0	\$ -	\$ 775
coat hook with bumper	ea	50.00	25.00		11	\$ 825	0	\$ -	\$ 825
folding utility shelf	ea	75.00	30.00		11	\$ 1,155	0	\$ -	\$ 1,155
grab bar	ea	75.00	35.00		8	\$ 880	0	\$ -	\$ 880
subtotal						\$ 37,785		\$ -	\$ 37,785

subtotal						\$ 54,508		\$ 12,025	\$ 66,533
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Siv 11 Equipment

kitchen equipment by owner, install by gc	ls	0	500		0	\$ -	1	\$ 500	\$ 500
subtotal						\$ -		\$ 500	\$ 500

Div 12 Furnishings

two-tier telescoping bleachers-per seat	ea	125	43		56	\$ 9,408	0	\$ -	\$ 9,408
subtotal						\$ 9,408		\$ -	\$ 9,408

Div 21 Fire Protection

fsb demo+new fire protection system	sf	8	8		15559	\$ 248,944	0	\$ -	\$ 248,944
subtotal						\$ 248,944		\$ -	\$ 248,944



Study 1.2

Itemization

	Unit	Mtl	Labor	Equip.	Tier I		Tier II		Combined
					Qty	Subtotal	Qty	Subtotal	Subtotal
Div 22 Plumbing									
fsb	demolition	ls	1000	7000	1	\$ 8,000		\$ -	\$ 8,000
fsb	new plumbing fixtures	ea	2900	800	29	\$ 107,300		\$ -	\$ 107,300
fsb	pipng distribution	ls	48000	57000	1	\$ 105,000		\$ -	\$ 105,000
fsb	hybrid pump water heater	ls	12000	10000	1	\$ 22,000		\$ -	\$ 22,000
subtotal						\$ 242,300		\$ -	\$ 242,300

Div 23 HVAC

fsb general+demolition									
	mobilization	ls	-	12000	1	\$ 12,000		\$ -	\$ 12,000
	demo existing system	sf	-	2	15559	\$ 31,118		\$ -	\$ 31,118
	ductwork	ls	400	900	1	\$ 1,300		\$ -	\$ 1,300
subtotal						\$ 44,418		\$ -	\$ 44,418
fsb heat pump system									
	air source heat pump system	sf	29	29	15559	\$ 902,422		\$ -	\$ 902,422
subtotal						\$ 902,422		\$ -	\$ 902,422

subtotal						\$ 946,840		\$ -	\$ 946,840
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Div 26 Electrical

budget costs

new service included in div 33

	general demolition	ls	0	3000	4	\$ 12,000		\$ -	\$ 12,000
	lighting demolition	ea	0	125	92	\$ 11,500		\$ -	\$ 11,500
	switchboards+panelboards	ls	50000	15000	1	\$ 65,000		\$ -	\$ 65,000
	lighting fixture+controls	ea	300	250	118	\$ 64,900		\$ -	\$ 64,900
	power-receptacles etc.	sf	2	5	14600	\$ 94,900		\$ -	\$ 94,900
	power to hvac	ls	10000	8000	1	\$ 18,000		\$ -	\$ 18,000
	telecommunications	sf	1	2	15559	\$ 46,677		\$ -	\$ 46,677
subtotal						\$ 312,977		\$ -	\$ 312,977

Div 28 Electronic Safety and Security

	fire alarm modifications	sf	3	3	15559	\$ 93,354	0	\$ -	\$ 93,354
subtotal						\$ 93,354		\$ -	\$ 93,354

Div 31 Earthwork

general

	materials hauling	ls	1,030	2,060	618	1	\$ 3,708		\$ -	\$ 3,708
	protect existing plants+general	ls	1,545	2,060	206	1	\$ 3,811		\$ -	\$ 3,811
	restore existing site	ls	1,030	3,090	515	1	\$ 4,635		\$ -	\$ 4,635
subtotal						\$ 12,154		\$ -	\$ 12,154	



Study 1.2

Itemization

	Unit	Mtl	Labor	Equipt.	Tier I		Tier II		Combined
					Qty	Subtotal	Qty	Subtotal	Subtotal
site demolition									
asphalt paving+walkways	sf		1.05	0.12	2,656	\$ 3,108		\$ -	\$ 3,108
cut asphalt+concrete pavements	ls		500	-	1	\$ 500		\$ -	\$ 500
subtotal						\$ 3,608		\$ -	\$ 3,608

earthwork

excavation+backfill	lf		0.60	0.50	600	\$ 660	0	\$ -	\$ 660
foundation excavation	ls		400	6	0	\$ -	6	\$ 2,436	\$ 2,436
hvac trenching+backfill	cy		13	2	150	\$ 2,250		\$ -	\$ 2,250
subtotal						\$ 2,910		\$ 2,436	\$ 5,346

subtotal						\$ 18,672		\$ 2,436	\$ 21,108
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Div 32 Site Improvements

pavements

crack sealing budget	sf	6.00	8.00	-	500	\$ 7,000		\$ -	\$ 7,000
repair asphalt trench budget	sf	8.00	20.00	-	300	\$ 8,400		\$ -	\$ 8,400
demo bituminous pavement	sf	0	1	0.5	2540	\$ 4,064		\$ -	\$ 4,064
paint striping	ls	150	2500	5	1	\$ 2,655		\$ -	\$ 2,655
<i>crosswalk striping included</i>								\$ -	\$ -
patio area	sf	6.00	8.00	-	850	\$ 11,900		\$ -	\$ 11,900
sidewalk	sf	9.00	12.00	-	983	\$ 20,643		\$ -	\$ 20,643
concrete pads	sf	11.00	12.00	-	100	\$ 2,300		\$ -	\$ 2,300
subtotal						\$ 56,962		\$ -	\$ 56,962

general

site lighting budget	ls	25000	7000	-	1	\$ 32,000		\$ -	\$ 32,000
site furnishings	ls	15000	3000	-	0	\$ -	1	\$ 18,000	\$ 18,000
landscaping budget	ls	50000	3000		0		1	\$ 53,000	\$ 53,000
planting area	sf	6	8	-	2071	\$ 28,994	700	\$ 9,800	\$ 38,794
subtotal						\$ 60,994		\$ 80,800	\$ 141,794

subtotal						\$ 117,956		\$ 80,800	\$ 198,756
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Div 33 Utilities

600 amp electrical service-see
 Electrical Div 26

	ls	20000	10000		1	\$ 30,000	-	\$ -	\$ 30,000
subtotal						\$ 30,000		\$ -	\$ 30,000

Subtotal Base Costs						\$ 3,712,149		\$ 627,886	\$ 4,323,805
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SOUTHBRIDGE CASAUBON SENIOR & COMMUNITY CENTER

FACILITY STUDY

4.28.25



Kuhn Riddle
Architects & Designers



**153 CHESTNUT ST.
SOUTHBRIDGE, MA**

St Nicholas Albanian Church

Southbridge Council On Aging

Casuabon Senior Center

Southbridge Community Center
Recently viewed

Mass Power Volleyball Club

Morris St Park

Southbridge Little League Fields

Chestnut St

Armory Rd

Armory Rd

Morris St

Warren Ln

Warren St

Warren St

Morris St

Morris St

48

134

135

36

25

51

162

168

65

5

73

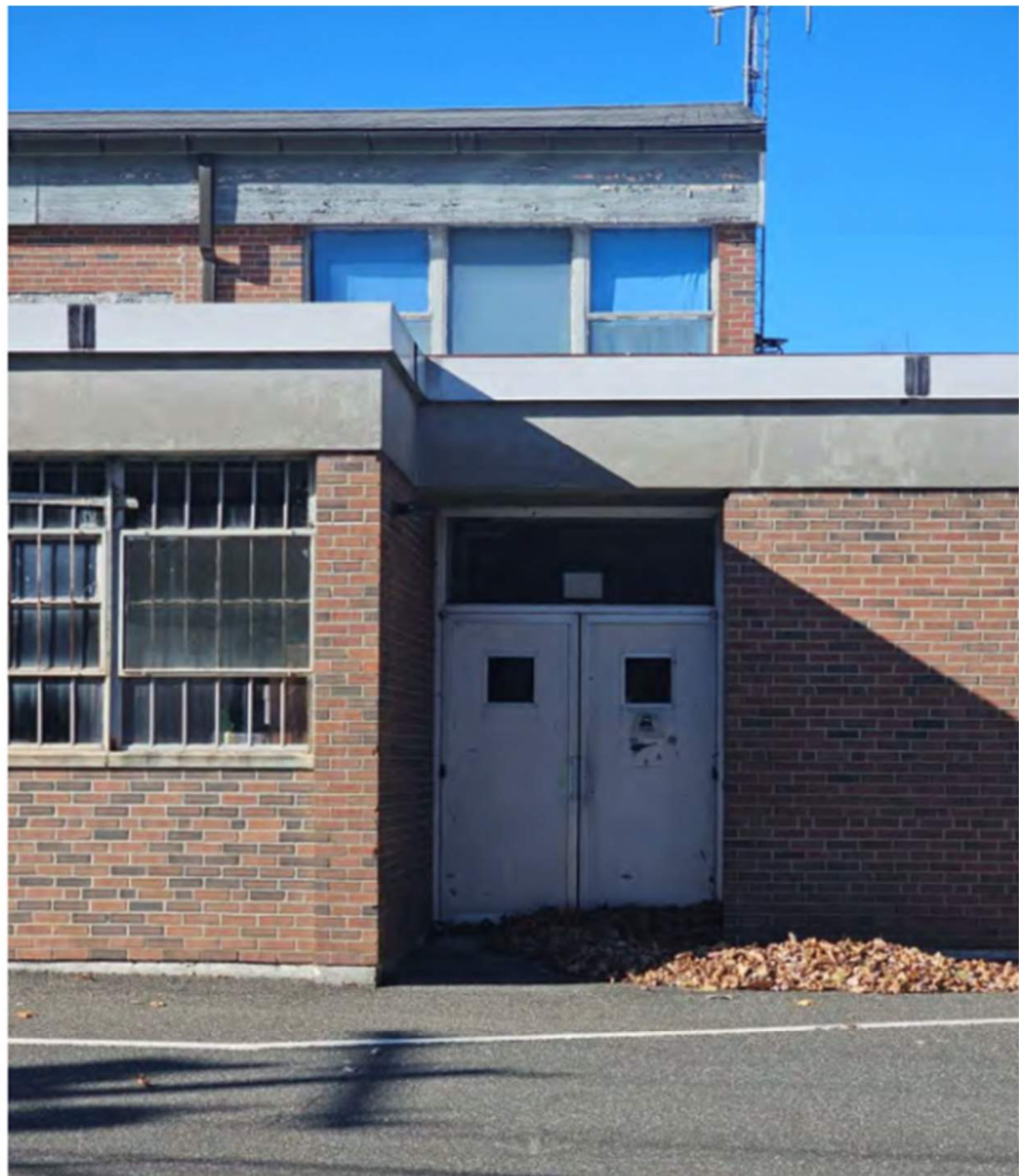
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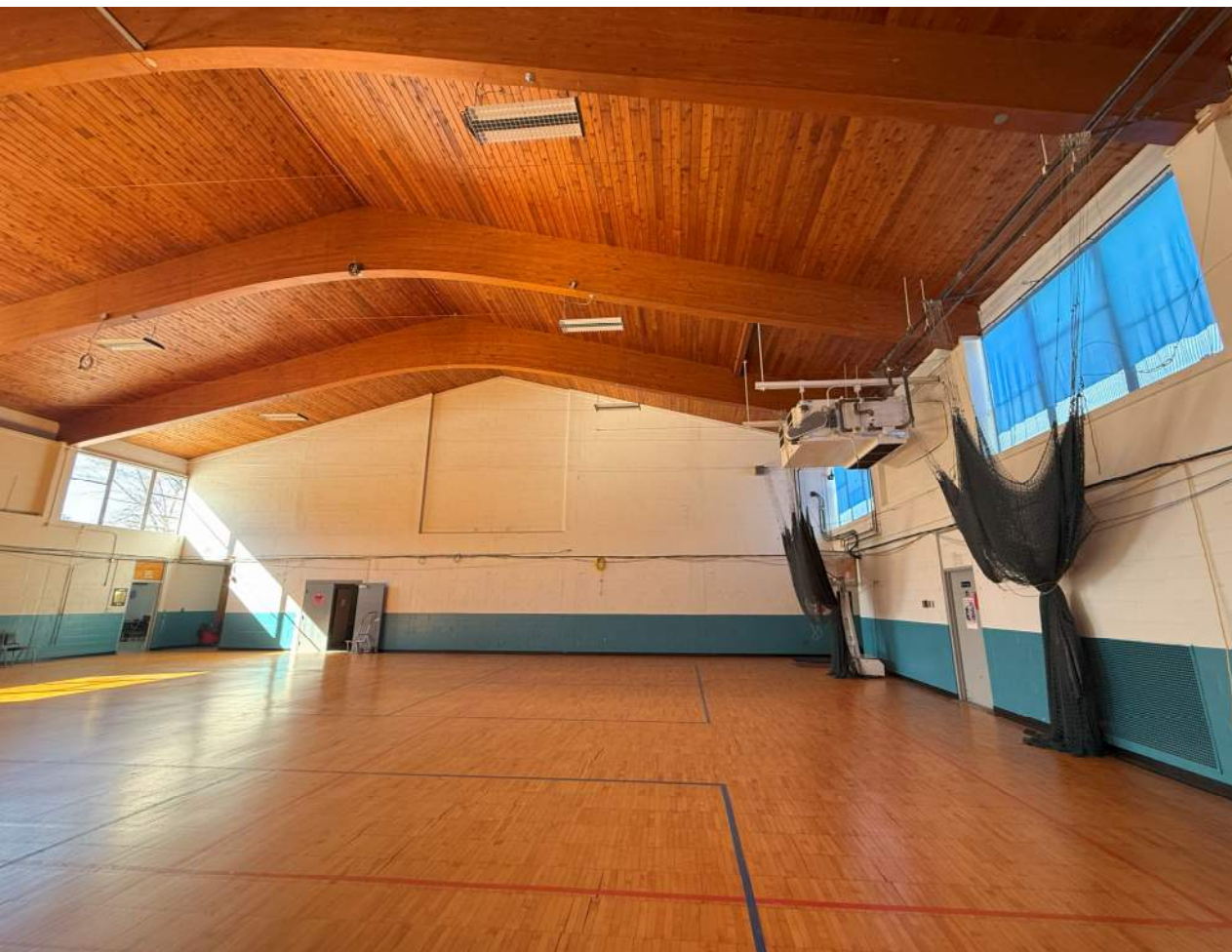
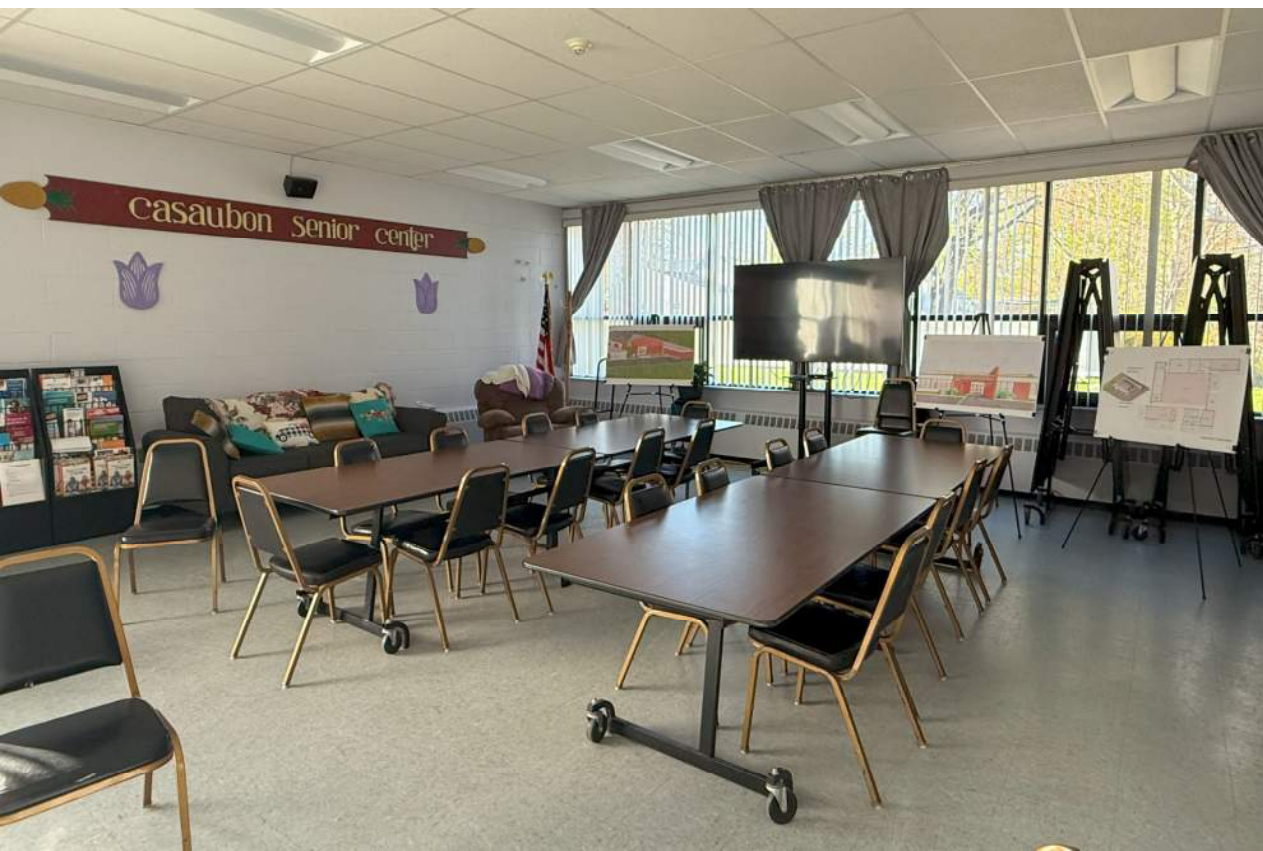
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EXISTING EXTERIOR & SITE





EXISTING INTERIOR



PROGRAM AREAS
GYM / RECREATION
MULTIPURPOSE ROOM
SENIOR CENTER ROOM
OFFICES ROOMS
OUTDOOR EVENTS

UPGRADES RECOMMENDED
PER 2016 ASSESSMENT

- Paving, Parking & Drainage Repair / Resurfacing
- Masonry Repairs and Repointing
- Windows / Doors & Flashing
- Roofing at Asphalt & Membrane Roofs and Gutter Re-Pitch
- ADA Bathrooms & Door Handling
- Asbestos Floor Tiles Abatement & Replacement
- Mechanical Systems
 - Water Heater Replacement
 - Under-slab Rusted Piping for Office Baseboards Valve Control
 - Re-engineer AHU, Air-flow Distribution, Actuator Valve
- Electrical Panel & Circuit Testing
- Fire Detection / Suppression & Energy Upgrades per Code

TIERED RENOVATION APPROACH

UPGRADE TIER I

Building system and envelope improvements based on MEP and 2016 assessment - essential upgrades to mechanical, plumbing, windows (including new storefront in gym area), roofing/flashings/coping, repaving (to include new paving layout and patios), lighting, and accessible bathrooms and new flooring/painting, exterior signage (no pergola structure).

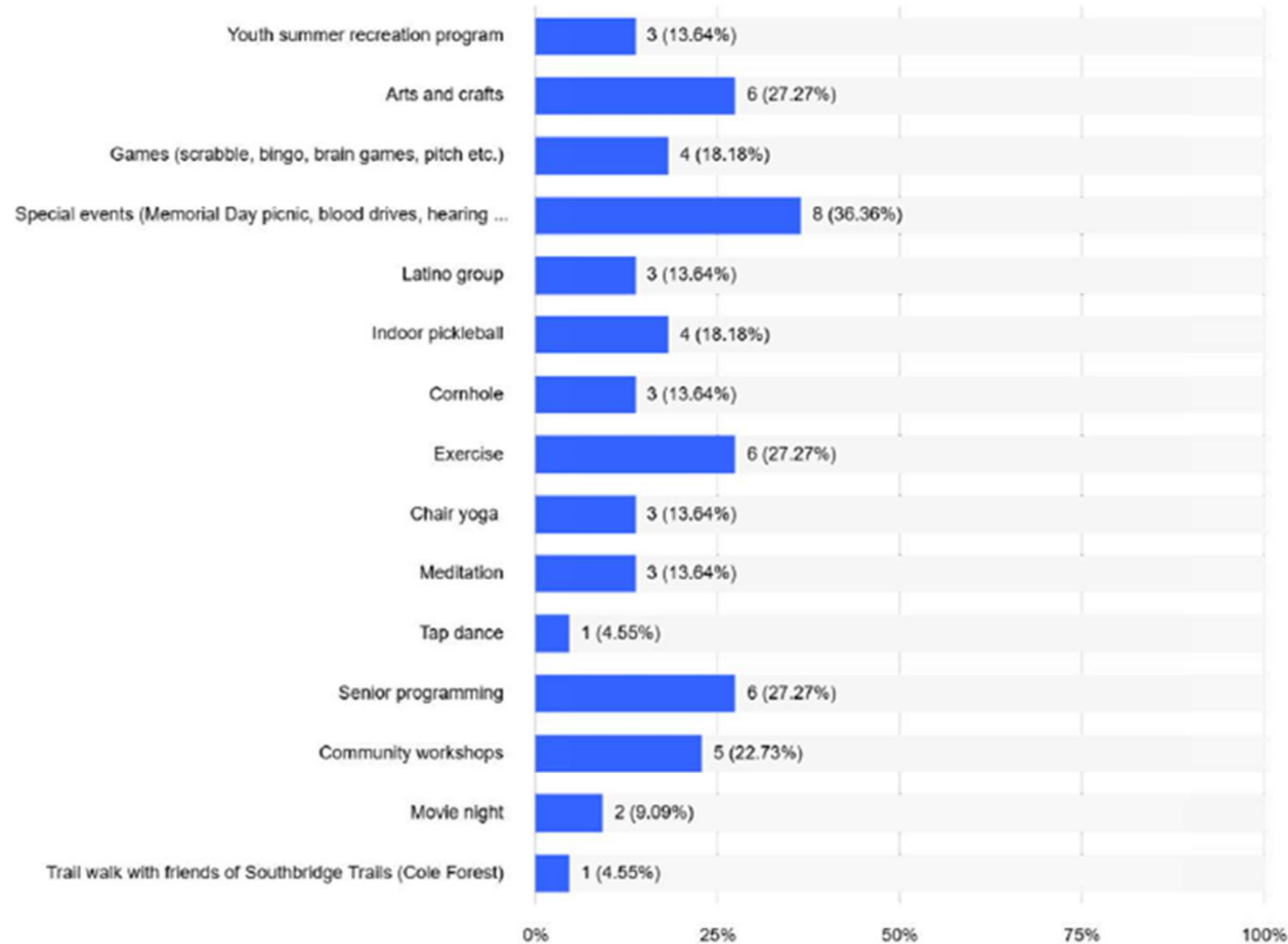
TIER II

Tier I plus improvements focused on quality of usability - interior room layout changes, internal circulation path improvements, kitchen renovation, and exterior changes including landscaping, and pergola structures.

TIER III

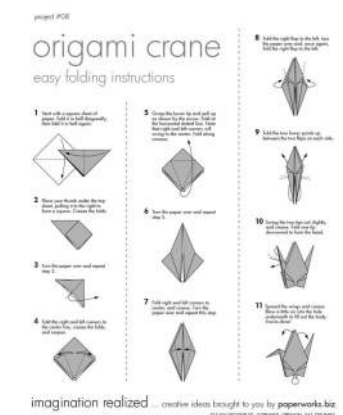
Tiers I & II plus a phasing approach with preliminary consideration of opportunities for building additions to accommodate future growth.

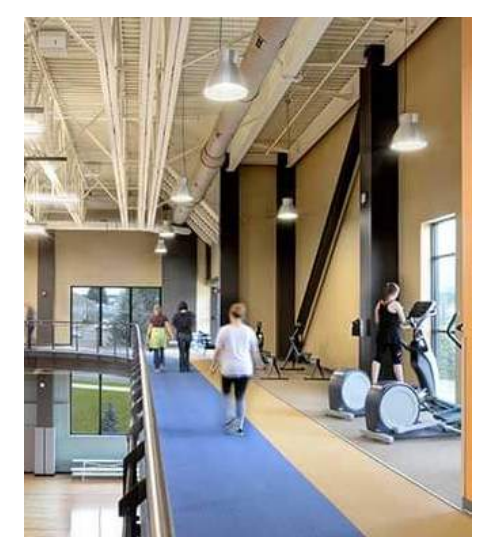
6. Which of the following recreational activities do you regularly participate in at the Casaubon Senior/Community Center (Select all that apply).



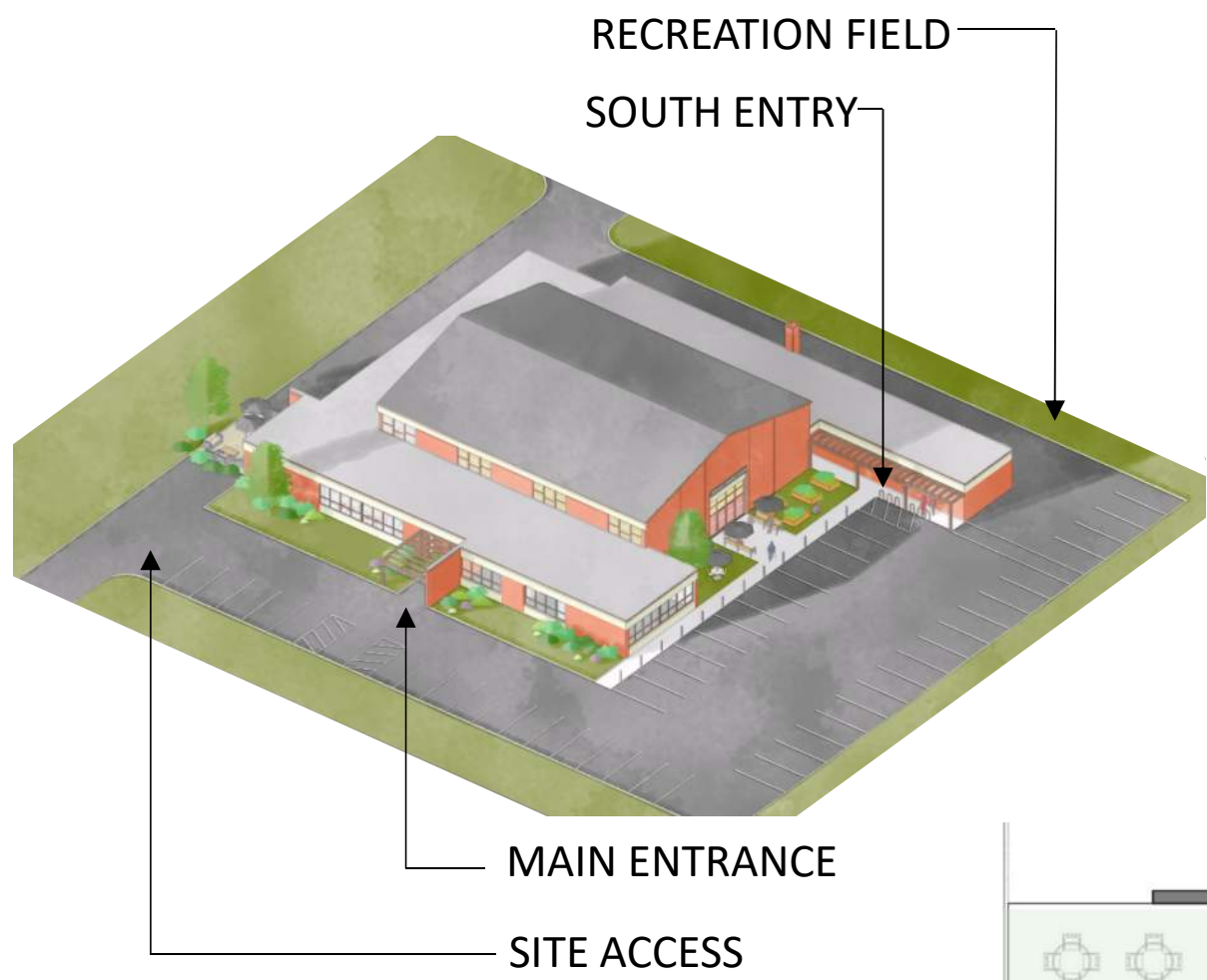
1000 PAPER CRANES
DESIGN MOTIF & MEANING

Origami birds, or cranes, hold deep symbolic meaning, representing peace, healing and hope. The tradition of folding “senbazuru”, or a thousand paper cranes, is a practice used by many to bring healing to the ill and provide hope for the future.





INSPIRATIONAL DESIGN



PROPOSED FLOOR PLAN



CASaubON COMMUNITY CENTER



Quilts of Southbridge





Quilts of Southbridge

















CASAUBON COMMUNITY CENTER



THANK YOU!

